

PROJECT DIRECTORY

DEVELOPER/OWNER
 TOWN OF DAMASCUS
 208 W LAUREL AVE.
 DAMASCUS, VA 24236
 (276)783-5103 EXT. 315
 CONTACT: MR. GAVIN N. BLEVINS, TOWN
 MANAGER

LANDSCAPE ARCHITECT
 DESTINATION BY DESIGN STUDIOS, PLLC
 136 FURMAN RD. SUITE 6
 BOONE, NC 28607
 (828) 386-1866
 CONTACT: MR. ALEX GOTHERMAN, PLA

STRUCTURAL ENGINEER
 IONCON, PLLC
 726 STATE FARM RD. UNIT B
 BOONE, NC 28607
 (828)264-8500
 CONTACT: MR. PATRICK A. BEVILLE, PE LEED AP

STRUCTURAL ENGINEER
 ARETE' ENGINEERS, PLLC
 7668 VALLEY BLVD.
 BLOWING ROCK, NC 28607
 (828)434-0587
 CONTACT: MR. BRIAN MULLIN, PE, CBSI

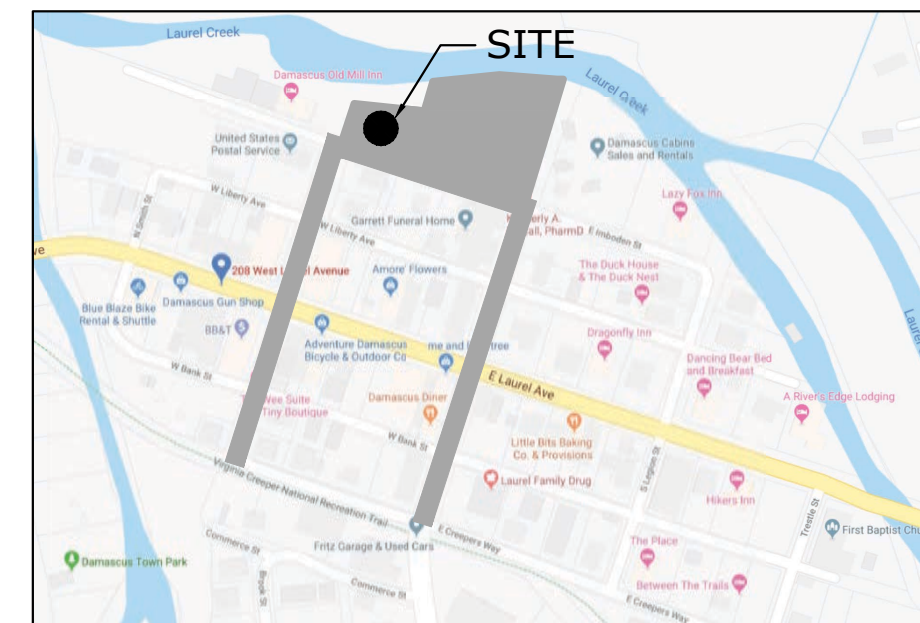
SITE CONSTRUCTION DOCUMENTS FOR:

Laurel Creek Park & Trail

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G01	MAIN FLOOR + ELECTRICAL + PLUMBING PLANS
G02	ELEVATIONS
E-1	SITE/ELECTRICAL PLAN

208 W LAUREL AVE.
 DAMASCUS, VA 24236



VICINITY MAP
 NOT TO SCALE

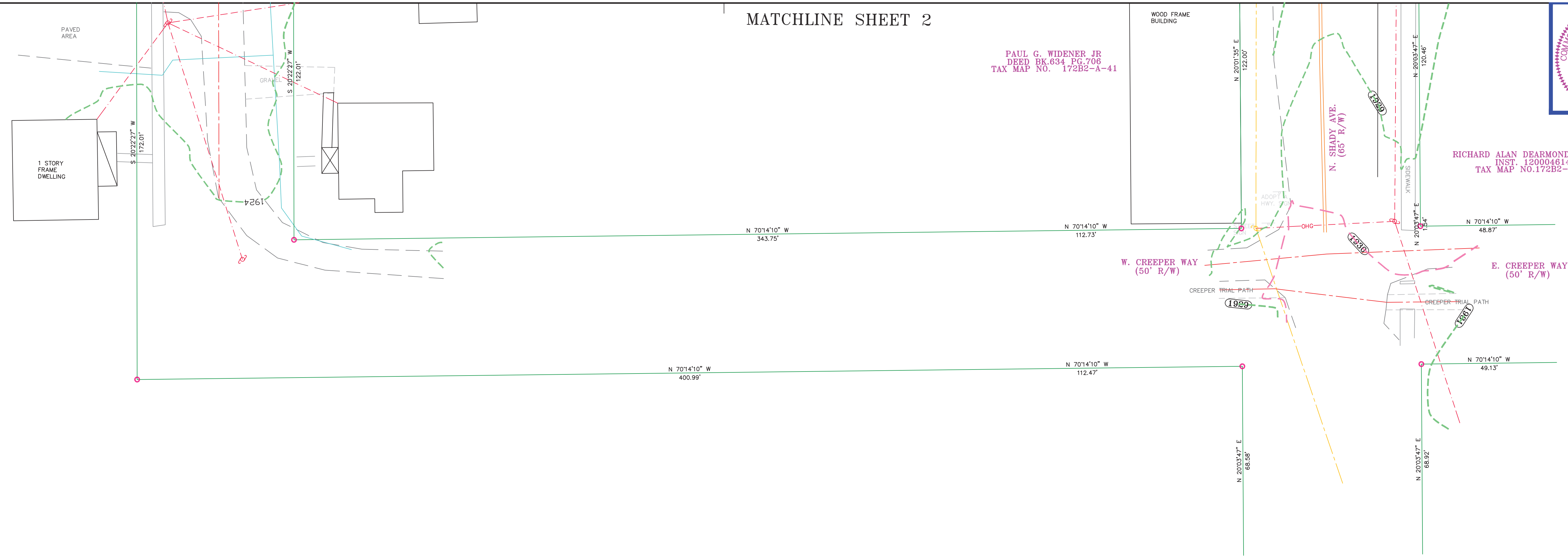
PROJECT MANAGER CONTACT: ALEX GOTHERMAN, PLA
(828) 386-1866

PREPARED BY:
 DESTINATION BY DESIGN
 STUDIOS, PLLC

136 FURMAN RD., SUITE 6
 BOONE, NC 28607
 (828)386-1866
 NOVEMBER 22, 2019
 9.26.16

REVISIONS:			
NO.	DESCRIPTION:	BY:	DATE:
1	WASHINGTON COUNTY E&S	DAD	10/02/19
2	VDOT	DAD	10/03/19

MATCHLINE SHEET 2

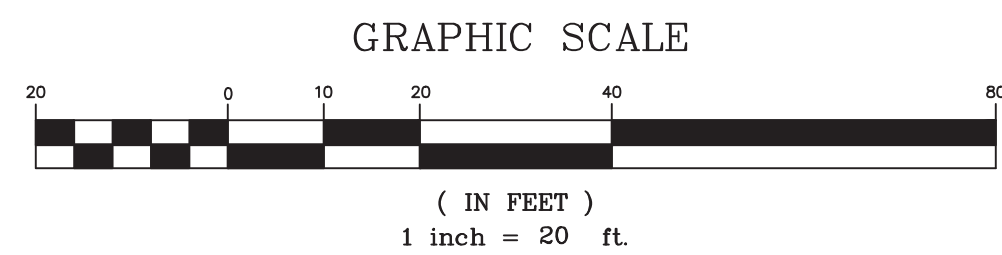


PAUL G. WIDENER JR
DEED BK.634 PG.706
TAX MAP NO. 172B2-A-41



RICHARD ALAN DEARMOND REVOC. TRUST
INST. 120004614
TAX MAP NO.172B2-A-60

PLAT SHOWING TOPO ITEMS ON SEVERAL TRACTS OF LAND LYING IN THE TOWN OF DAMASCUS IN THE TAYLOR MAGISTERIAL DISTRICT OF WASHINGTON COUNTY, VA.



SCALE: 1" = 20'
SHEET 1

THIS RIVER WALK (PROVIDE DESCRIPTION OF THE PROJECT) WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF L.K. ADDISON (NAME OF SURVEYOR OR SURVEYOR PHOTOGRAMMETRIST) FROM AN ACTUAL GROUND OR BY AIRBORNE (CHECK THE ONE THAT IS APPLICABLE) SURVEY MADE UNDER MY SUPERVISION; THAT THE MAKEUP AND/OR ORIGINAL DATA WAS OBTAINED ON JAN. 2017 (DATE); AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS PLAT IS BASED ON A CURRENT FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND COMES BY ME THROUGH PROPER AND SOUNDLY ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND INSURANCE BROKERS. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES WHICH MAY EXIST ON THE PROPERTY.

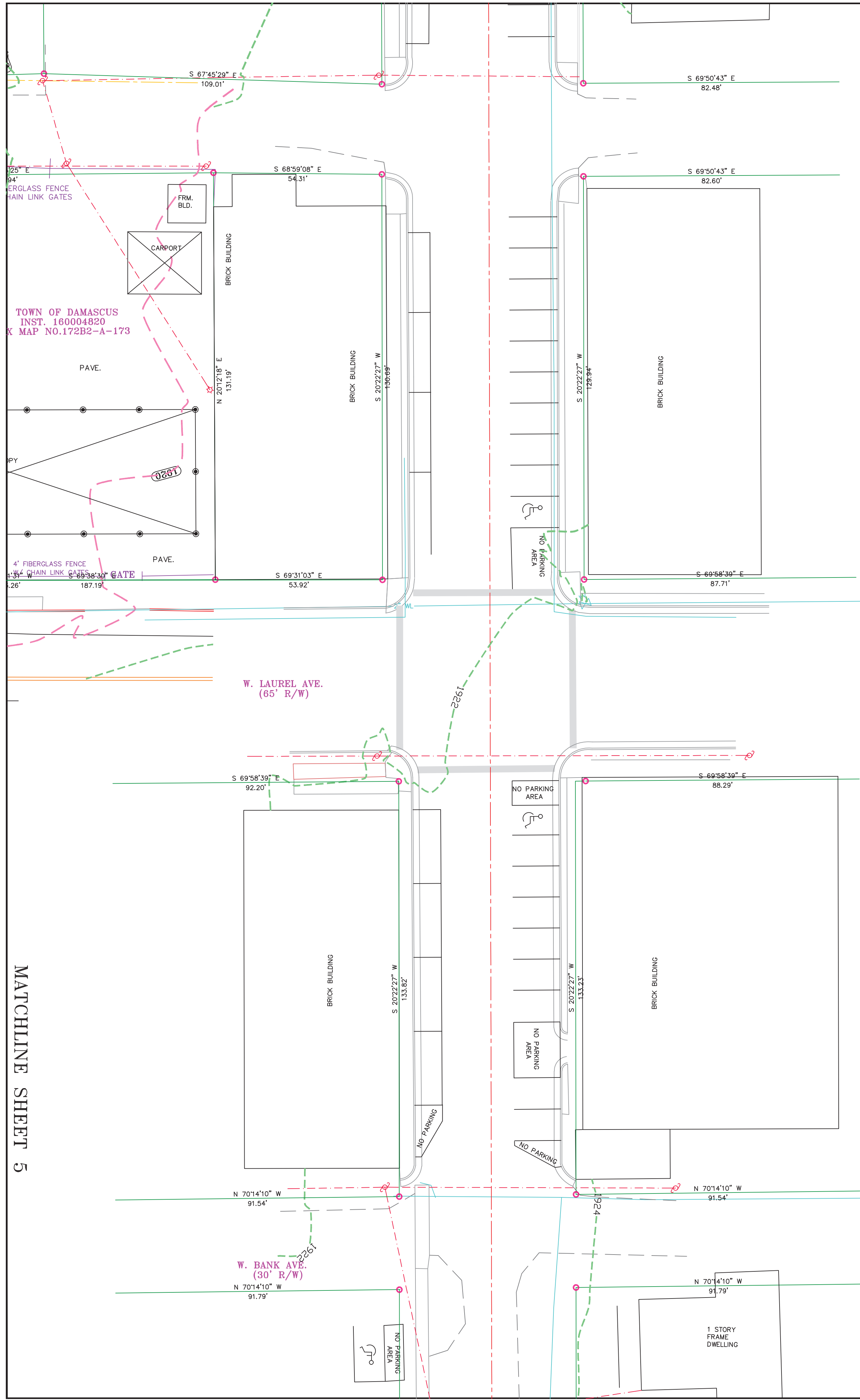
I CERTIFY THAT THIS PLAT IS AN ACTUAL ON THE GROUND SURVEY AND THERE ARE NO ENCUMBRANCES OR ENCUMBRANCEMENTS WORTHY OF THE GROUND OTHER THAN THOSE NOTED.
THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS, CONVEYANCES, RESTRICTIONS, AND VISUAL OR RECORDED EASEMENTS THAT MAY BE DEVELOPED BY A FULL AND ACCURATE TITLE SEARCH.
NO COVENANTS FOUND.
CALLS IN PARENTHESES DENOTE PLAT OR DEED OF RECORD.

L.K. ADDISON L.S. 1049

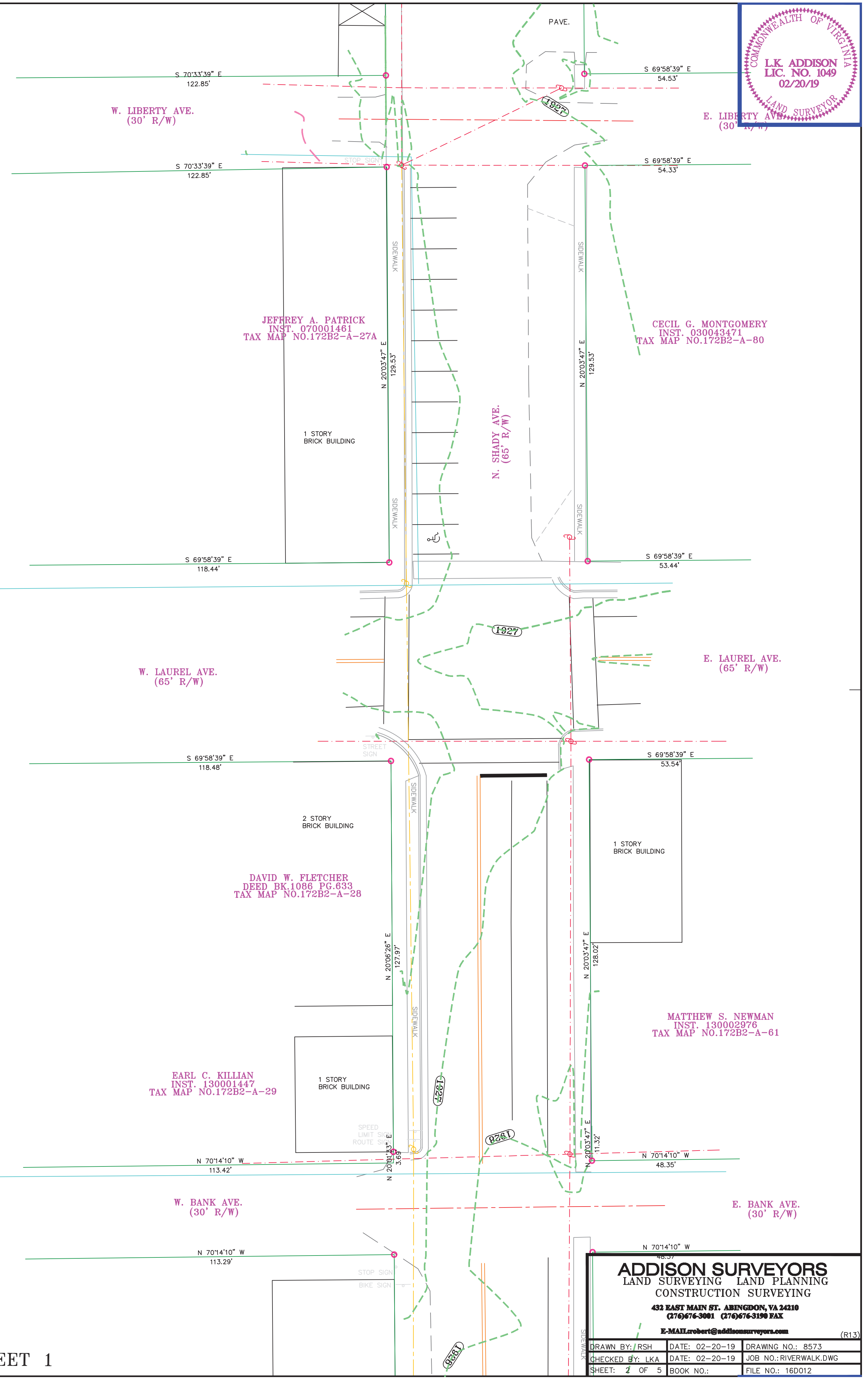
SCALE 1" = 20'

ADDISON SURVEYORS
LAND SURVEYING LAND PLANNING
CONSTRUCTION SURVEYING
431 EAST MAIN ST. ARLINGTON, VA 22210
(703) 676-3001 (703) 676-3190 FAX
E-MAIL: robert@addisonsurveyors.com (R13)

NO.	DATE	REVISION	DRAWN BY: RSH	DATE: 02-20-19	DRAWING NO.: 8573
			CHECKED BY: LKA	DATE: 02-20-19	JOB NO.: RIVERWALK.DWG
			SHEET: 1 OF 5	BOOK NO.:	FILE NO.: 16D012



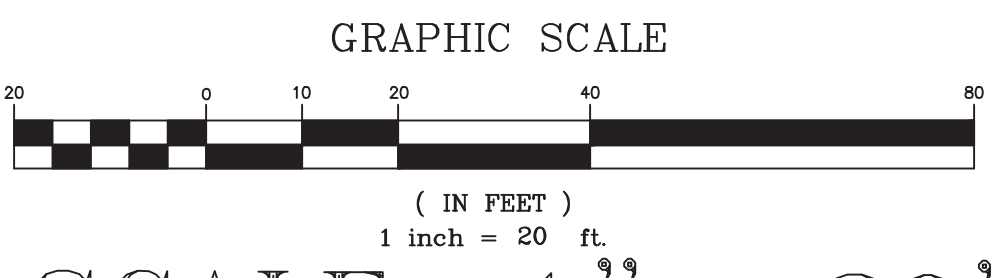
MATCHLINE SHEET 5



MATCHLINE SHEET 1

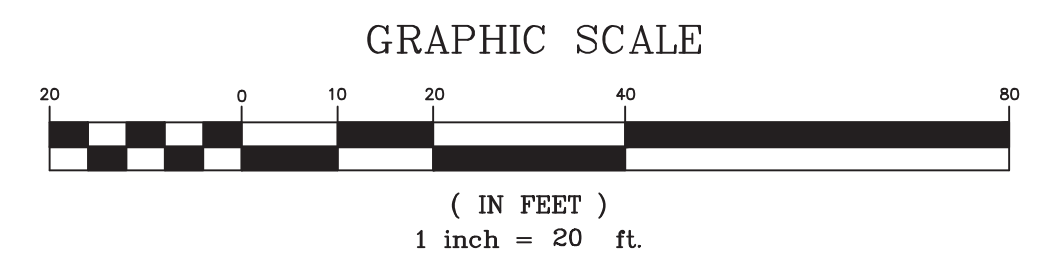
ADDISON SURVEYORS
 LAND SURVEYING LAND PLANNING
 CONSTRUCTION SURVEYING
 431 EAST MAIN ST. ARBINGDON, VA 22110
 (703) 676-3001 (276) 676-3190 FAX
 E-MAIL: robert@addisonsurveyors.com (R13)

DRAWN BY: RSH	DATE: 02-20-19	DRAWING NO.: 8573
CHECKED BY: LKA	DATE: 02-20-19	JOB NO.: RIVERWALK.DWG
SHEET: 2 OF 5	BOOK NO.:	FILE NO.: 16D012

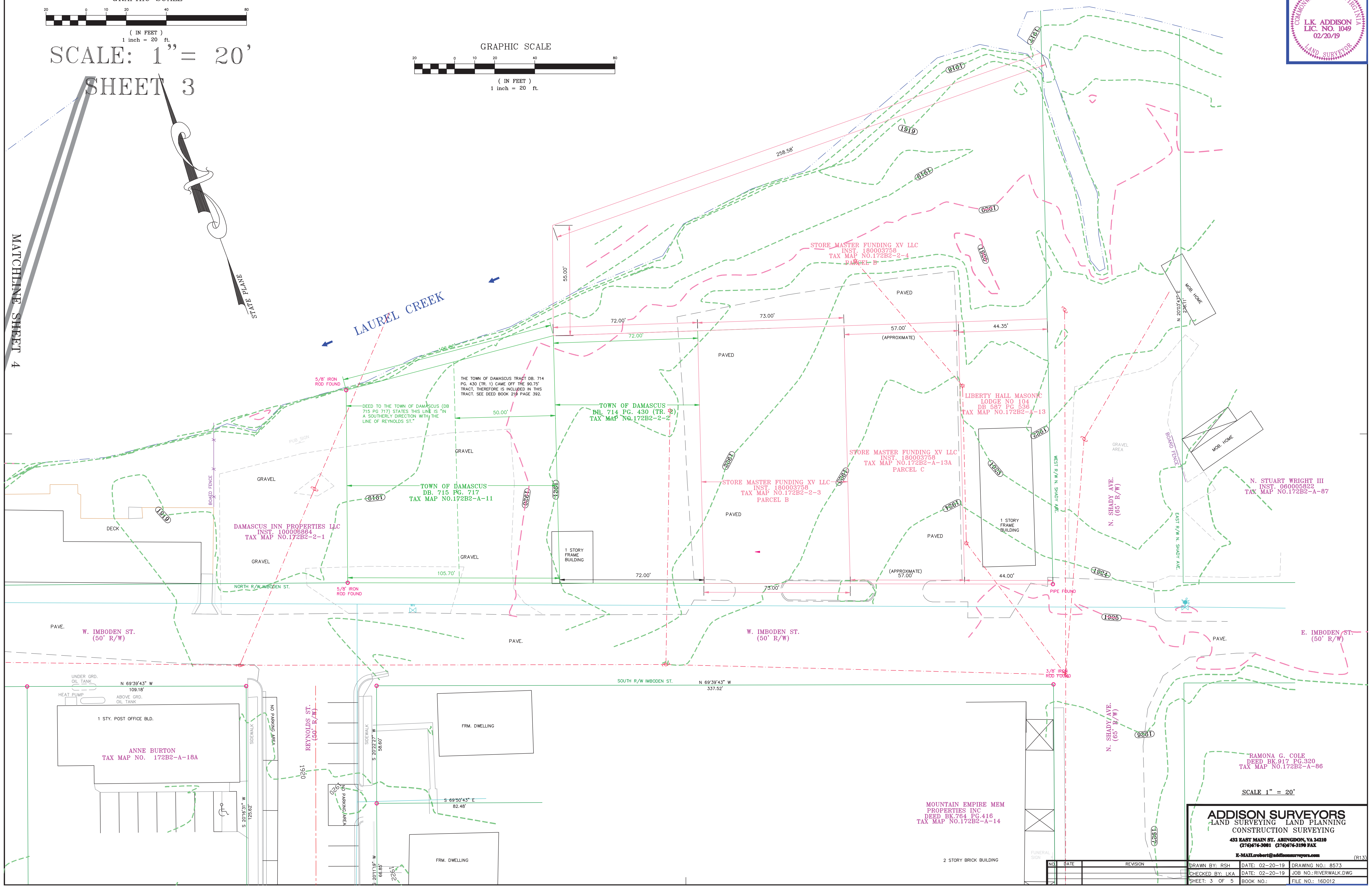


SCALE: 1" = 20'

SHEET 3



MATCHLINE SHEET 4



DAMASCUS INN PROPERTIES LLC
INST. 10000664
TAX MAP NO. 172B2-2-1

TOWN OF DAMASCUS
DB. 715 PG. 717
TAX MAP NO. 172B2-A-11

TOWN OF DAMASCUS
DB. 714 PG. 430 (TR. 2)
TAX MAP NO. 172B2-2-2

STORE MASTER FUNDING XV LLC
INST. 180003758
TAX MAP NO. 172B2-2-3
PARCEL B

STORE MASTER FUNDING XV LLC
INST. 180003758
TAX MAP NO. 172B2-A-13A
PARCEL C

LIBERTY HALL MASONIC
LODGE NO 104
DB 587 PG. 536
TAX MAP NO. 172B2-A-13

RAMONA G. COLE
DEED BK. 917 PG. 320
TAX MAP NO. 172B2-A-86

MOUNTAIN EMPIRE MEM
PROPERTIES INC
DEED BK. 764 PG. 416
TAX MAP NO. 172B2-A-14

ADDISON SURVEYORS
LAND SURVEYING LAND PLANNING
CONSTRUCTION SURVEYING
431 EAST MAIN ST. ARINGDON, VA 22110
(703) 676-3001 (276) 676-3198 FAX
E-MAIL: robert@addisonsurveyors.com (R13)

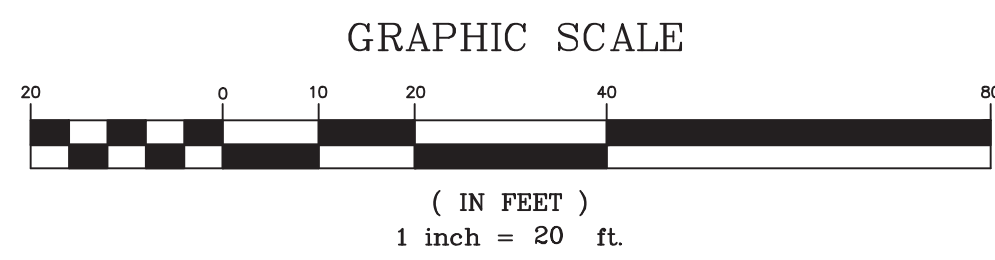
NO.	DATE	REVISION	DRAWN BY: RSH	DATE: 02-20-19	DRAWING NO.: 8573
			CHECKED BY: LKA	DATE: 02-20-19	JOB NO.: RIVERWALK.DWG
			SHEET: 3 OF 5	BOOK NO.:	FILE NO.: 16D012

SCALE 1" = 20'



ADDISON SURVEYORS
 LAND SURVEYING LAND PLANNING
 CONSTRUCTION SURVEYING
 432 EAST MAIN ST. ABINGDON, VA 24210
 (276)676-3081 (276)676-3190 FAX
 E-MAIL: robert@addisonurveyors.com (R13)

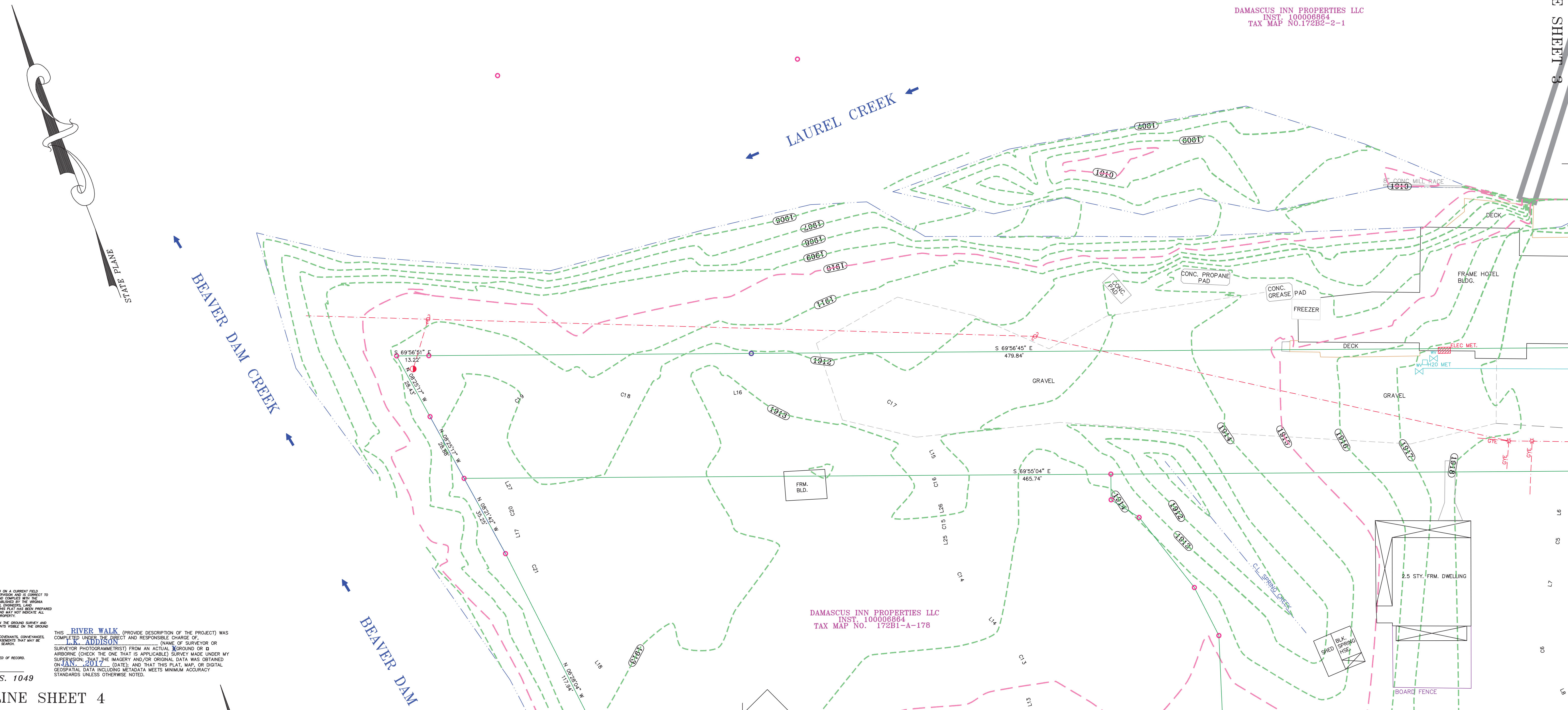
DRAWN BY: RSH	DATE: 02-20-19	DRAWING NO.: 8573
CHECKED BY: LKA	DATE: 02-20-19	JOB NO.: RIVERWALK.DWG
SHEET: 4 OF 5	BOOK NO.:	FILE NO.: 160012



SCALE: 1" = 20'

SHEET 4

PLAT SHOWING TOPO ITEMS ON SEVERAL TRACTS OF LAND LYING IN THE TOWN OF DAMASCUS IN THE TAYLOR MAGISTERIAL DISTRICT OF WASHINGTON COUNTY, VA.



MATCHLINE SHEET 3

I HEREBY CERTIFY THAT THIS PLAT IS BASED ON A CURRENT FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND SURVEYING INSTRUMENTS. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT INDICATE ALL ENCUMBRANCES WHICH MAY EXIST ON THE PROPERTY.

I CERTIFY THAT THIS PLAT IS AN ACTUAL OF THE GROUND SURVEY AND CORRECT TO THE DATE HEREON. ENCUMBRANCES VISIBLE ON THE GROUND THIS SURVEY IS SUBJECT TO ANY AND ALL COMMENTS, CONVEYANCES, RESTRICTIONS, AND HOLES OR RECORDS ADJUSTMENTS THAT MAY BE COLLECTED BY A FULL AND ACCURATE TITLE SEARCH.

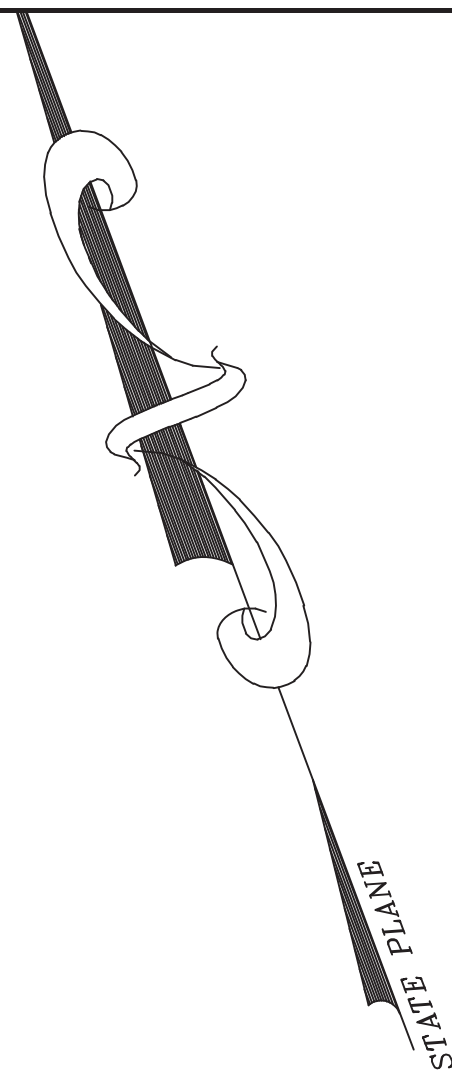
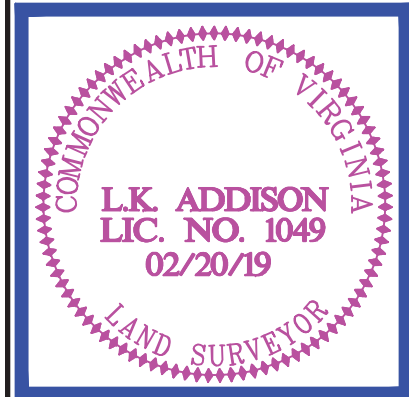
NO CEMETERY FOUND.

CALLS IN PARENTHESIS DENOTE PLAT OR DEED OF RECORD.

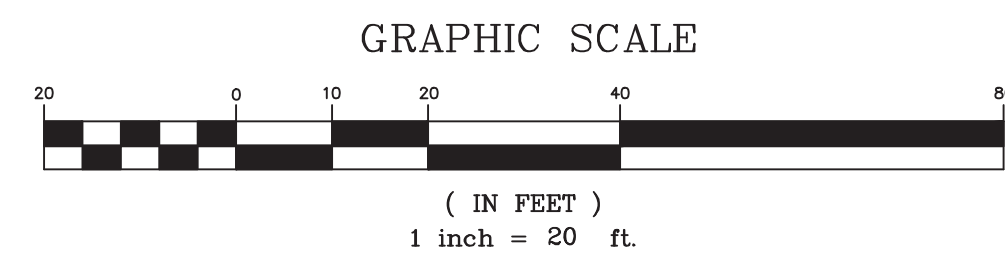
L.K. ADDISON L.S. 1049

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MATCHLINE SHEET 4



CREEK



SCALE: 1" = 20'
SHEET 5

PLAT SHOWING TOPO ITEMS ON SEVERAL TRACTS OF LAND LYING IN THE TOWN OF DAMASCUS IN THE TAYLOR MAGISTERIAL DISTRICT OF WASHINGTON COUNTY, VA.

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I HEREBY CERTIFY THAT THIS PLAT IS BASED ON A CURRENT FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND CONFORMS WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND LANDSCAPE ARCHITECTS. THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES WHICH MAY EXIST ON THE PROPERTY.

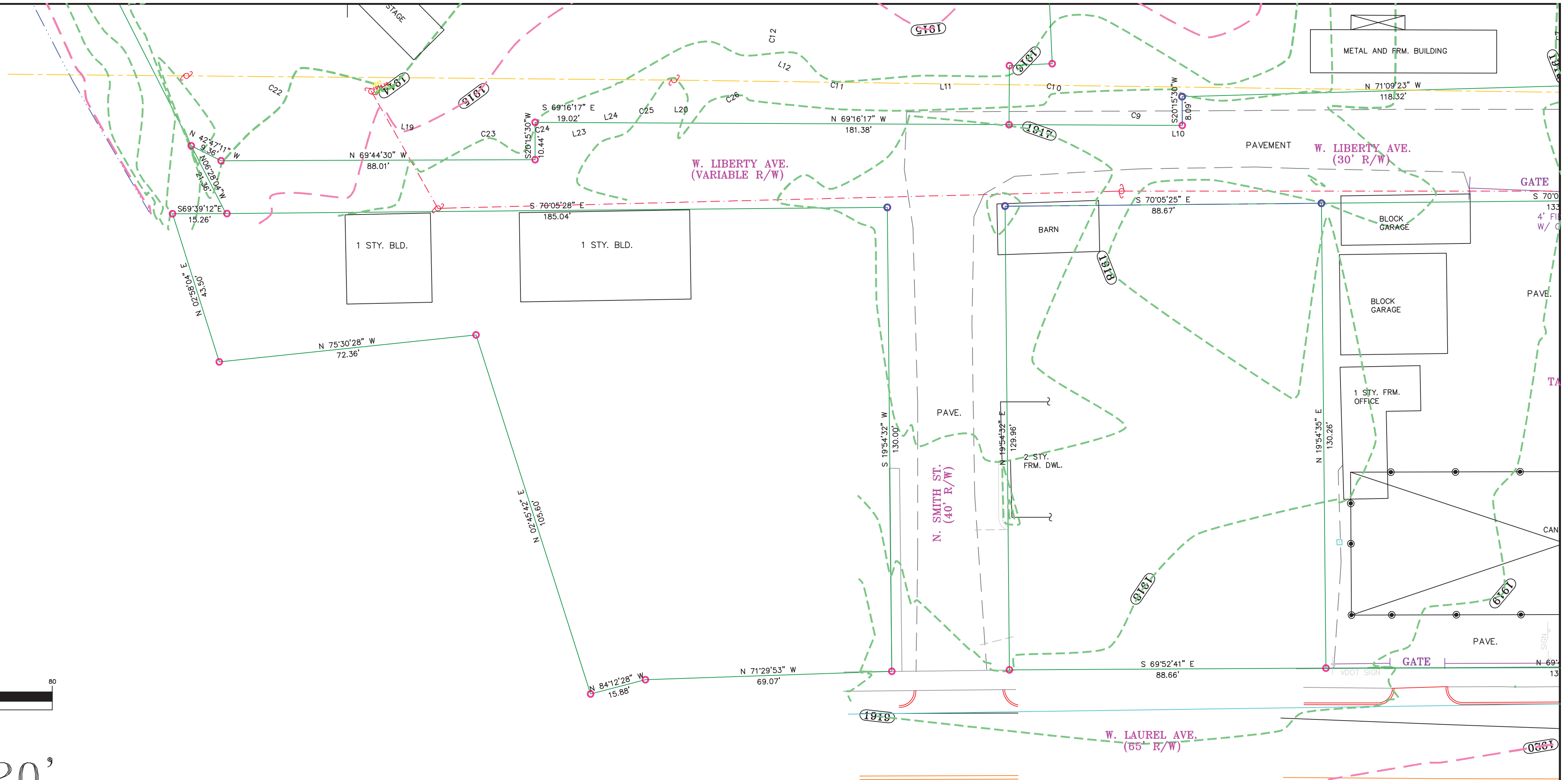
I CERTIFY THAT THIS PLAT IS AN ACTUAL ON THE GROUND SURVEY AND THERE ARE NO ENCUMBRANCES OR ENCUMBRANCE RISKS ON THE GROUND OTHER THAN SHOWN HEREON.

THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS, CONVEYANCES, RESTRICTIONS, AND USABLE OR RECORDING INSTRUMENTS THAT MAY BE DISCOVERED BY A FULL AND ACCURATE TITLE SEARCH.

NO CEMETERY FOUND.

CALLS IN PARENTHESIS DENOTE PLAT OR DEED OF RECORD.

L.K. ADDISON L.S. 1049



MATCHLINE SHEET 2

SCALE 1" = 20'

ADDISON SURVEYORS
LAND SURVEYING LAND PLANNING
CONSTRUCTION SURVEYING
431 EAST MAIN ST. ARBINGDON, VA 22110
(703) 676-3001 (703) 676-3190 FAX
E-MAIL: robert@addisonsurveyors.com (R13)

REVISION	DRAWN BY: RSH	DATE: 02-20-19	DRAWING NO.: 8573
	CHECKED BY: LKA	DATE: 02-20-19	JOB NO.: RIVERWALK.DWG
	SHEET: 5 OF 5	BOOK NO.:	FILE NO.: 16D012



LEGEND

	PROPOSED ASPHALT TRAIL		WAYFINDING GATEWAY
	RESEALED/RESURFACED ASPHALT		WAYFINDING SIGN
	PROPOSED CRUSHER FINES TRAIL		VEHICULAR STOP SIGN
	PROPOSED CONCRETE		TRAIL STOP SIGN
	LANDSCAPED AREA		COLLAPSIBLE BOLLARD
	PROPOSED PAVERS		FLEXIBLE BOLLARD
	LIMITS OF DISTURBANCE		CYCLE LANE SEPARATOR
	PROPOSED SILT FENCE		
	PROPERTY LINE		
	PROPOSED BENCH		
	PROPOSED SPLIT RAIL FENCE		



PROJECT:
**Laurel Creek
 Park and Trail**

ADDRESS:
 208 W Laurel Ave.
 Damascus, VA 24236

DEVELOPER:
**Town of
 Damascus, VA**

DAMASCUS
 CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
 CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
DESTINATION BY DESIGN
 studios

Destination by Design Studios, PLLC
 136 Furman Rd, Ste. 6
 Boone, NC 28607
 828-386-1866
 www.dbdplanning.com

SEAL: VA 2102

11/22/19

REVISIONS	DATE
1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

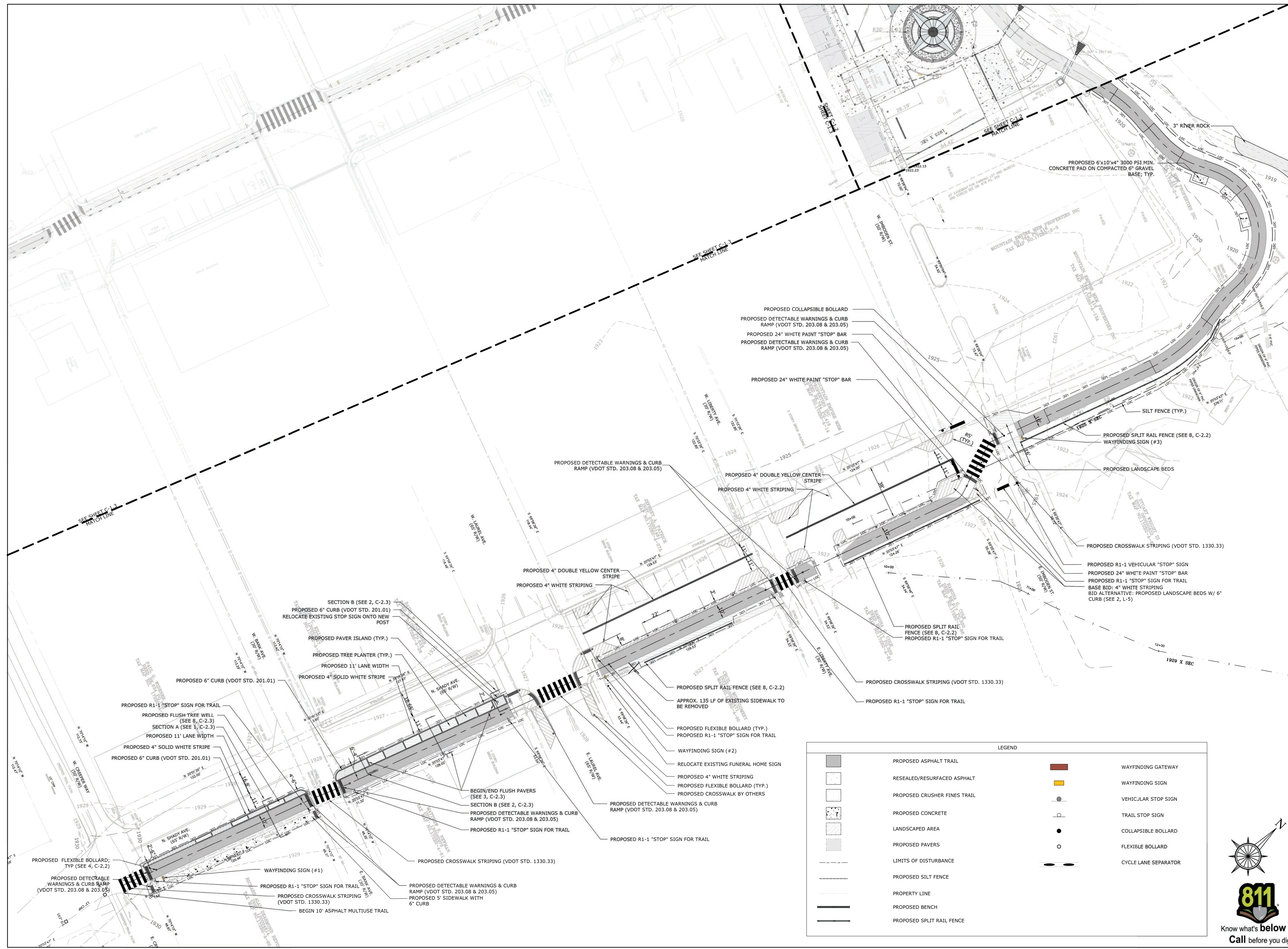
PROJECT MANAGER: CAG
 DRAWING BY: DAD
 JURISDICTION: WASHINGTON COUNTY
 DATE: 11/22/19
 SHEET TITLE:

SITE PLAN: OVERVIEW

SHEET NUMBER: **C-1**

SCALE: 1" = 40'

FILE NUMBER: 9.26.16



PROJECT:
**Laurel Creek
 Park and Trail**

ADDRESS:
 208 W Laurel Ave.
 Damascus, VA 24236

DEVELOPER:
**Town of
 Damascus, VA**

DAMASCUS
 CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
 CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
DESTINATION BY DESIGN
 studios

Destination by Design Studios, PLLC
 136 Furman Rd, Ste. 6
 Boone, NC 28607
 828-386-1866
 www.dbdplanning.com

SEAL: VA 2102

11/22/19

REVISIONS	DATE
1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

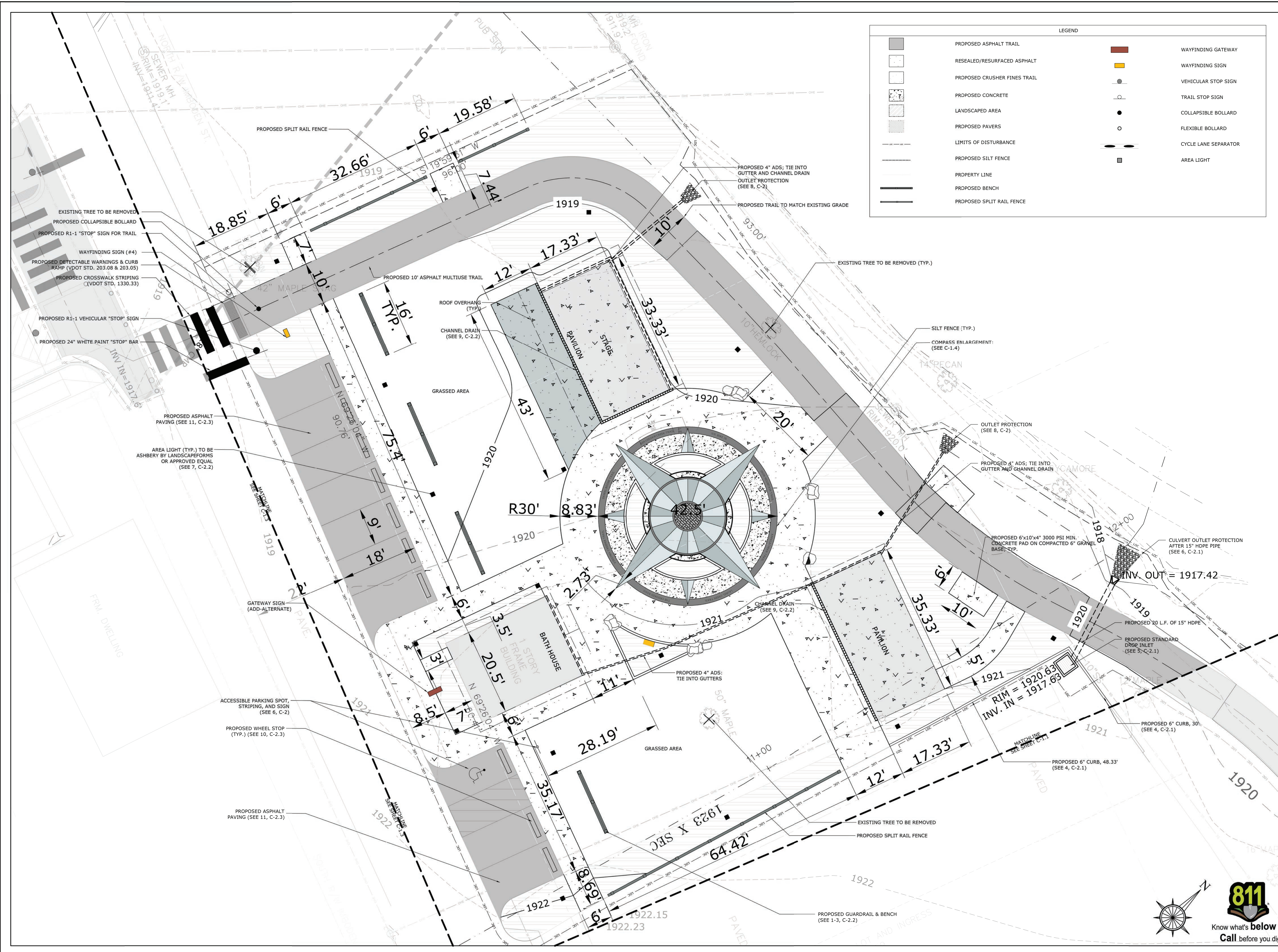
PROJECT MANAGER: CAG
 DRAWING BY: DAD
 JURISDICTION: WASHINGTON COUNTY
 DATE: 11/22/19
 SHEET TITLE:

SITE PLAN: SHADY AVE.
 SHEET NUMBER: **C-1.1**
 SCALE: 1" = 30'
 FILE NUMBER: 9.26.16

LEGEND

	PROPOSED ASPHALT TRAIL		WAYFINDING GATEWAY
	RESEALED/RESURFACED ASPHALT		WAYFINDING SIGN
	PROPOSED CRUSHER FINES TRAIL		VEHICULAR STOP SIGN
	PROPOSED CONCRETE		TRAIL STOP SIGN
	LANDSCAPED AREA		COLLAPSIBLE BOLLARD
	PROPOSED PAVERS		FLEXIBLE BOLLARD
	LIMITS OF DISTURBANCE		CYCLE LANE SEPARATOR
	PROPOSED SILTY FENCE		
	PROPERTY LINE		
	PROPOSED BENCH		
	PROPOSED SPLIT RAIL FENCE		





LEGEND

	PROPOSED ASPHALT TRAIL		WAYFINDING GATEWAY
	RESEALED/RESURFACED ASPHALT		WAYFINDING SIGN
	PROPOSED CRUSHER FINES TRAIL		VEHICULAR STOP SIGN
	PROPOSED CONCRETE		TRAIL STOP SIGN
	LANDSCAPED AREA		COLLAPSIBLE BOLLARD
	PROPOSED PAVERS		FLEXIBLE BOLLARD
	LIMITS OF DISTURBANCE		CYCLE LANE SEPARATOR
	PROPOSED SILT FENCE		AREA LIGHT
	PROPERTY LINE		
	PROPOSED BENCH		
	PROPOSED SPLIT RAIL FENCE		

PROJECT:
Laurel Creek Park and Trail

ADDRESS:
 208 W Laurel Ave.
 Damascus, VA 24236

DEVELOPER:
Town of Damascus, VA

DAMASCUS
 CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
 CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
DESTINATION BY DESIGN studios

Destination by Design Studios, PLLC
 136 Furman Rd, Ste. 6
 Boone, NC 28607
 828-386-1866
 www.dbdplanning.com

SEAL: VA 2102

11/22/19

REVISIONS	DATE
1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

SITE PLAN: LAUREL CREEK PARK

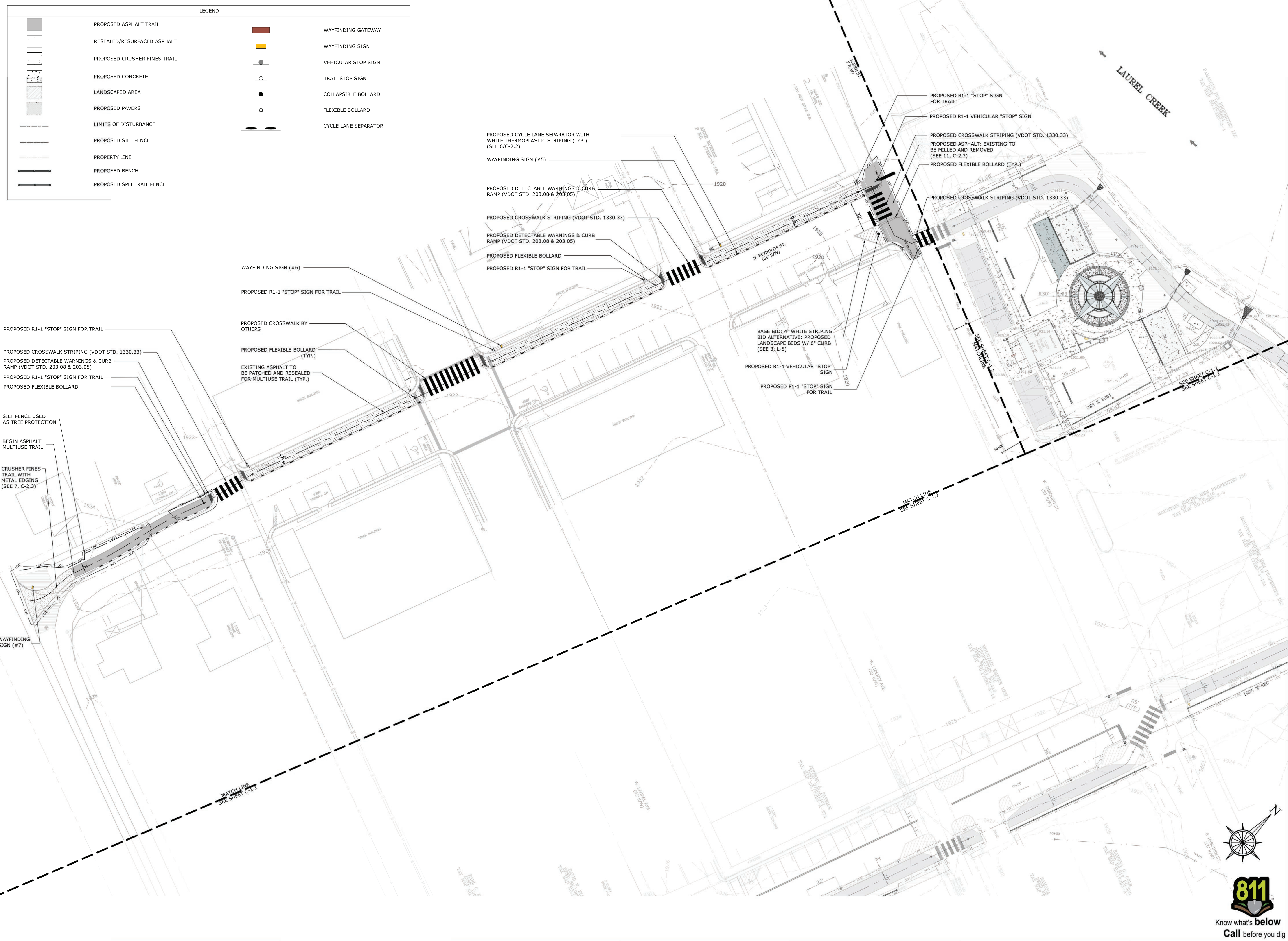
SHEET NUMBER: C-1.2

SCALE: 1" = 10'

FILE NUMBER: 9.26.16



LEGEND			
	PROPOSED ASPHALT TRAIL		WAYFINDING GATEWAY
	RESEALED/RESURFACED ASPHALT		WAYFINDING SIGN
	PROPOSED CRUSHER FINES TRAIL		VEHICULAR STOP SIGN
	PROPOSED CONCRETE		TRAIL STOP SIGN
	LANDSCAPED AREA		COLLAPSIBLE BOLLARD
	PROPOSED PAVERS		FLEXIBLE BOLLARD
	LIMITS OF DISTURBANCE		CYCLE LANE SEPARATOR
	PROPOSED SILT FENCE		
	PROPERTY LINE		
	PROPOSED BENCH		
	PROPOSED SPLIT RAIL FENCE		



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Park and Trail**

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Damascus, VA 24236

DEVELOPER:
**Town of
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DAMASCUS
CROSSING PATHS

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11/22/19

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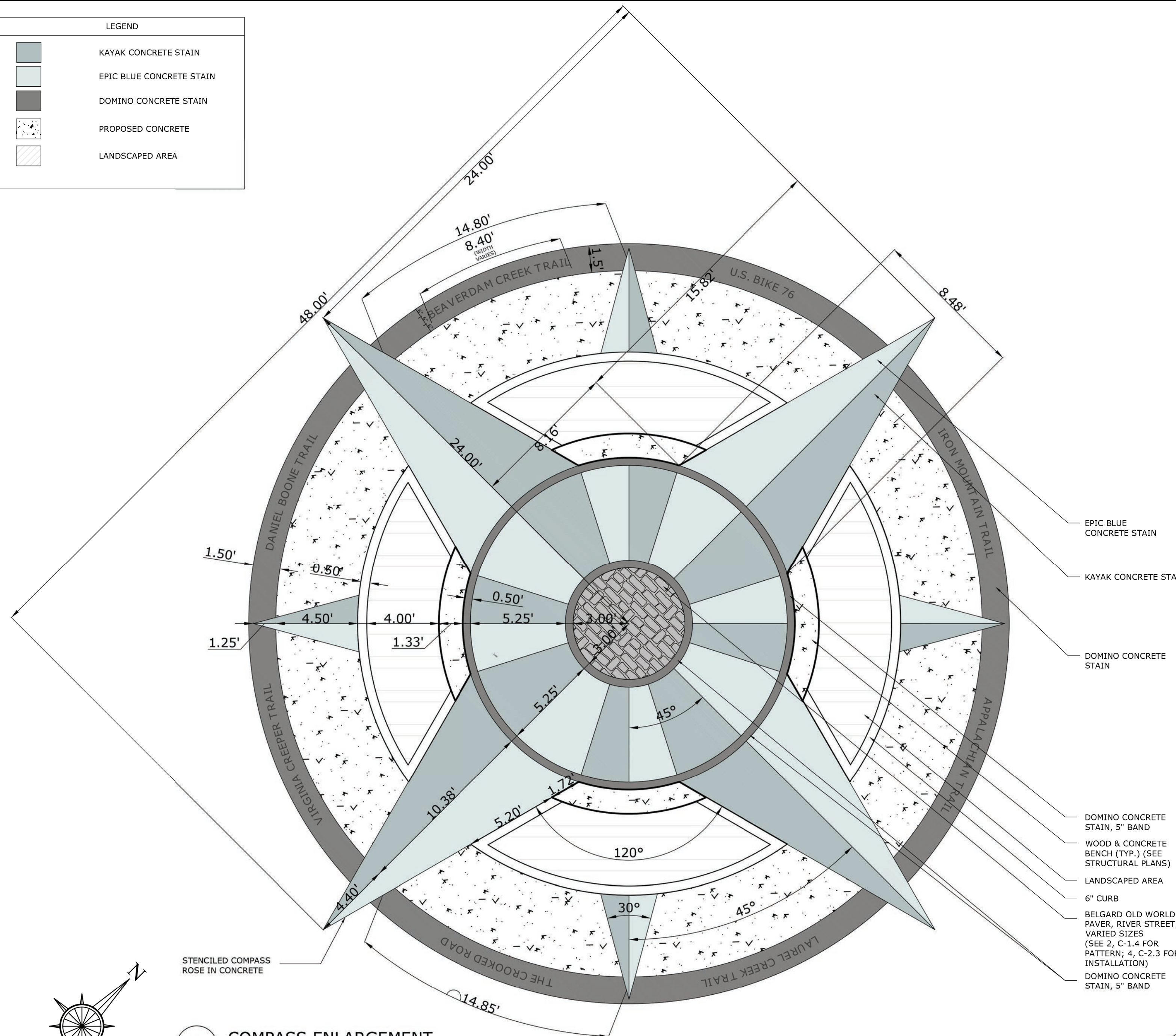
PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

SITE PLAN: REYNOLDS ST.
SHEET NUMBER: C-1.3
SCALE: 1" = 30'

FILE NUMBER: 9.26.16



LEGEND	
	KAYAK CONCRETE STAIN
	EPIC BLUE CONCRETE STAIN
	DOMINO CONCRETE STAIN
	PROPOSED CONCRETE
	LANDSCAPED AREA



CONCRETE NOTES:

NOTE:

ALL CONCRETE STAIN TO BE "SEMI-TRANSPARENT CONCRETE STAIN WATER BASED ECO-STAIN BY SURECRETE" (OR EQUIVALENT)

ALL PRODUCT TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS

IN ADDITION TO STAIN APPLICATION, A NON-SLIP SEALER SHALL BE APPLIED

CONCRETE SHALL BE 5000 PSI STRENGTH WITH FIBER REINFORCEMENT WITH SPECIFIED FINISH

TRAIL NAMES:

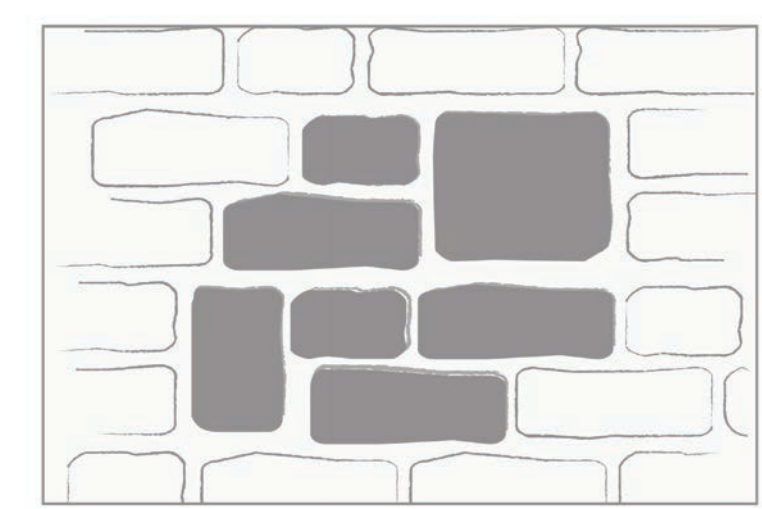
- 1.) VIRGINIA CREEPER TRAIL
- 2.) IRON MOUNTAIN TRAIL
- 3.) US BIKE 76
- 4.) THE CROOKED ROAD
- 5.) APPALACHIAN TRAIL
- 6.) DANIEL BOONE TRAIL
- 7.) LAUREL CREEK TRAIL
- 8.) BEAVERDAM CREEK TRAIL

LETTERING:

- 1.) USE LETRA-TEK MATERIAL OR APPROVED EQUIVALENT
- 2.) LETTERING TO BE 1/4" THICK ALUMINUM, 6" IN HEIGHT
- 3.) TEXT TO BE STYLED AS ACUMIN VARIABLE CONCEPT, EXTRA CONDENSED SEMIBOLD, ALL CAPS
- 4.) LETTERING TO BE RECESSED IN CONCRETE WITH A FLUSH FINISH
- 5.) LETTERING TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS

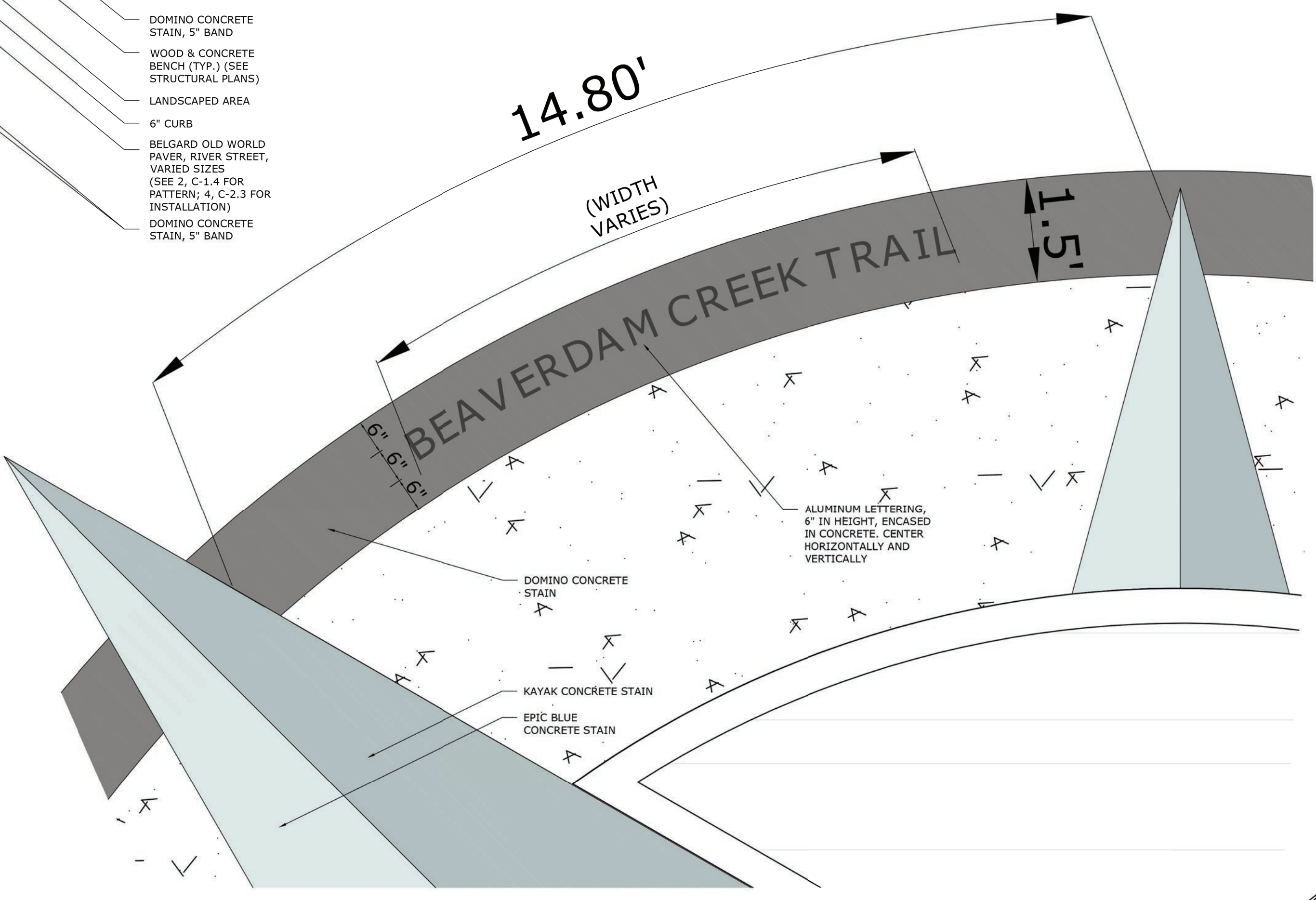
- EPIC BLUE CONCRETE STAIN
- KAYAK CONCRETE STAIN
- DOMINO CONCRETE STAIN
- DOMINO CONCRETE STAIN, 5" BAND
- WOOD & CONCRETE BENCH (TYP.) (SEE STRUCTURAL PLANS)
- LANDSCAPED AREA
- 6" CURB
- BELGARD OLD WORLD PAVER, RIVER STREET, VARIED SIZES (SEE 2, C-1.4 FOR PATTERNS; 4, C-2.3 FOR INSTALLATION)
- DOMINO CONCRETE STAIN, 5" BAND

1 COMPASS ENLARGEMENT
1/4"=1'-0"



PATTERN: 25% RUNNING BOND WITH OLD WORLD PAVER

2 COBBLE PAVERS
NOT TO SCALE



3 TRAIL NAME ENLARGEMENT
3/4"=1'-0"

PROJECT:

Laurel Creek Park and Trail

ADDRESS:
208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:

Town of Damascus, VA

DAMASCUS CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
(276)783-5103, ext. 315

LANDSCAPE ARCHITECT:

DESTINATION BY DESIGN studios

Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102

11.22.19
Charles A. Gotherman
Lic. No. 2102
Charles A. Gotherman
LANDSCAPE ARCHITECT
11/22/19

REVISIONS	DATE
1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

SITE PLAN: COMPASS ENLARGEMENT

SHEET NUMBER: C-1.4
SCALE: NTS

FILE NUMBER: 9.26.16



EROSION CONTROL NOTES:

- 1.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. PROJECT MANAGER CONTACT: ALEX GOTHERMAN, PLA 828-386-1866.
- 2.) THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH ALL LAND DISTURBING ACTIVITIES THROUGHOUT THE ENTIRE PROJECT.
- 3.) EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 4.) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, ALL LAND DISTURBING ACTIVITIES THROUGHOUT THE ENTIRE PROJECT.

TOTAL DISTURBED AREA = 0.91 ACRES

ACTIVITY	ANTICIPATED ACTIVITY SCHEDULE			
	1.0 MTH	2.0 MTH	3.0 MTH	4.0 MTH
1 EROSION CONTROL BMP INSTALLATION				
2 CLEARING AND GRUBBING				
3 EXCAVATION/GRADING OF GREENWAY				
4 PAVING				
5 TEMPORARY COVER (MULCH)				
6 FINAL CLEAN UP				
7 MAINTENANCE OF E&S PRACTICES				

EROSION CONTROL NARRATIVE:

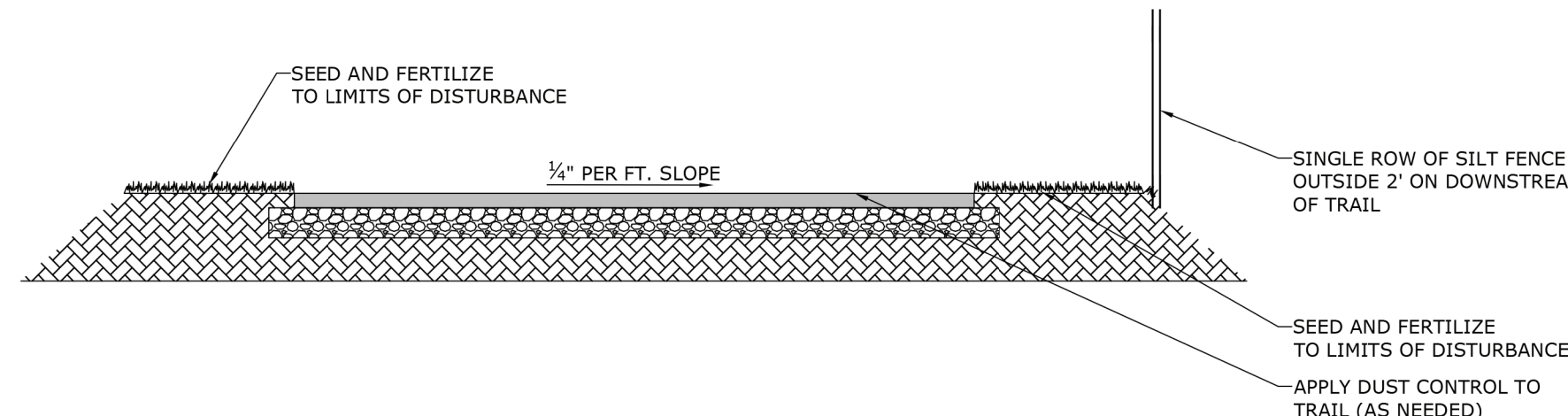
- 1.) PROJECT DESCRIPTION: THIS PROJECT INVOLVES THE CONSTRUCTION OF AN 8'-10' MULTIUSE TRAIL THROUGHOUT THE TOWN OF DAMASCUS. INCLUDED WITH THE TRAIL SHALL BE THE CONSTRUCTION OF A SMALL PARK.
- 2.) EXISTING SITE CONDITIONS: THE PROJECT IS A LINEAR PROJECT THAT GOES ALONG SEVERAL TOWN STREETS, INCLUDING SHADY AVE., REYNOLDS ST., AND SEVERAL TOWN-OWNED LOTS. THE MAJORITY OF THE TRAIL SHALL BE CONSTRUCTED IN AREAS THAT ARE EXISTING LOTS, OPEN GRASS AREAS, AND AREAS OF EXISTING ASPHALT FROM THE EXISTING STREETS.
- 3.) ADJACENT AREAS: THE TOWN HAS SEVERAL EXISTING STREETS IN THE NEARBY VICINITY THAT MAY BE AFFECTED BY THE LAND DISTURBANCE. IN ADDITION, THE TRAIL SHALL BE IN AREAS ADJACENT TO LAUREL CREEK.
- 4.) OFF-SITE AREAS: NO OFFSITE SOIL OR LAND-DISTURBING ACTIVITIES SHALL BE TAKING PLACE. THE TOWN OF DAMASCUS EASEMENT STAKEHOLDERS OWN THE LAND FOR THE TRAIL AND PARKING AREA. NO EXPORT IS ANTICIPATED.
- 5.) SOILS: THE MAJORITY OF THE PROJECT (82%) SHALL BE CONSTRUCTED ON "URBAN LAND" WHILE THE REMAINING PORTION (17%) SHALL BE CONSTRUCTED ON "UDORIENTS-URBAN LAND COMPLEX, 0 TO 25 PERCENT SLOPES" AND (1%) ON "UDORIENTS, 0 TO 25 PERCENT SLOPES". SOILS ARE CONSIDERED "WELL DRAINED" AND HAVE MODERATE EROSION CHARACTERISTICS AS THEY HAVE BOTH BEEN PLACED AS ALLUVIAL FILL OVER TIME.
- 6.) CRITICAL AREAS: THE ONLY CRITICAL AREA ON THE SITE IS LAUREL CREEK. THIS STREAM HAS A FEW ERODED BANKS. A SMALL ACCESS BEACH (730 SF) WILL BE STABILIZED WITH RIVER ROCK AS PART OF THIS PROJECT.
- 7.) EROSION & SEDIMENT CONTROL MEASURES: SINCE THIS IS A LINEAR PROJECT, THE MAJORITY OF THE SEDIMENT CONTROL WILL BE HANDLED WITH SILT FENCE AND VEGETATION. SEE DETAILS IN THIS SET OF CONSTRUCTION DOCUMENTS.
- 8.) PERMANENT STABILIZATION: AFTER THE TRAIL AND PARKING AREA ARE CONSTRUCTED, DISTURBED AREAS SHALL BE SEEDING IN ACCORDANCE WITH THE "GENERAL SLOPE" PORTION OF THE SEEDING TABLE IN THE CONSTRUCTION DOCUMENTS.
- 9.) STORMWATER RUNOFF CONSIDERATIONS: DETENTION EVALUATION EXCLUDING AREAS THAT ARE CURRENTLY PAVED, THE PROJECT WILL BE DISTURBING APPROXIMATELY 0.91 ACRES. IT SHOULD BE NOTED THAT THE PARK REPLACES A SIGNIFICANT AREA OF GRAVEL PARKING WITH LANDSCAPING AND TURF. ALSO OF NOTE, SOME DISTURBANCE IS RELATED TO THE DEVELOPMENT OF THE MULTIUSE PATH, WHICH VARIES IN WIDTH FROM 8'-10'. MUCH OF THE PATH WILL BE PAINTED ON EXISTING ROADWAY ASPHALT. NEW PATHS CONSTITUTE "DISCONNECTED" IMPERVIOUS AREAS, AS THEY ARE LINEAR IN NATURE AND PROMOTES SHEET FLOW TOWARDS THE CREEK. THE ONLY "CONNECTED" IMPERVIOUS AREA IS THE PARK, WHICH SHEET FLOWS TOWARDS THE RIVER. PROMOTING SHEET FLOW INSTEAD OF CONCENTRATING FLOW VIA USE OF PIPES, DITCHES, AND PONDS, IS AN INDUSTRY STANDARD FOR THE MANAGEMENT OF RUNOFF QUANTITY AND QUALITY, AS SHEET FLOW IS THE MOST ECOLOGICALLY SOUND WAY TO CONVEY RUNOFF. SINCE MOST RUNOFF FROM THE SITE SHEET FLOWS AND THE ADDITIONAL IMPERVIOUS AREAS ARE NOT CONNECTED OR CONCENTRATED, A DETENTION FACILITY SHOULD NOT BE WARRANTED.
- 10.) CALCULATIONS: IT IS RECOMMENDED THAT A LARGER PIPE IS INSTALLED AT THE NORTHEAST CORNER OF THE PROPOSED PARK (BENEATH PROPOSED TRAIL). HYDROLOGY CALCULATIONS HAVE BEEN PERFORMED FOR THE PIPING SIZE (Q=1.75; C=8; I=4.5; A=.44). A NEW 15" PIPE IS RECOMMENDED. SEE HYDROLOGY CALCULATIONS SHEET AND GRADING PLAN FOR DETAILS.



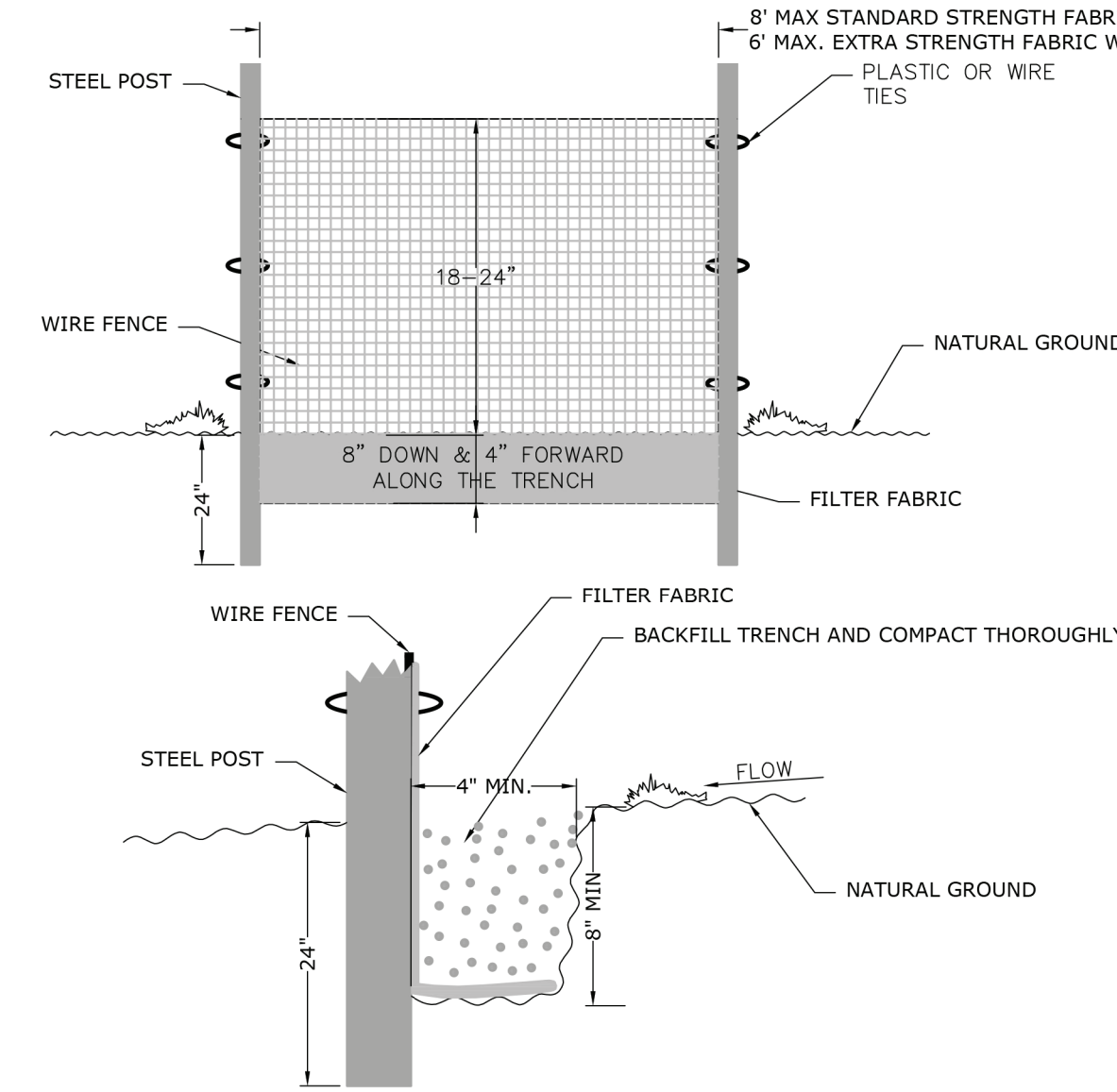
NOTES:

- 1.) TRAILS STOP SIGNS @ 18 X 18"
- 2.) VEHICULAR STOP STOP SIGNS @ 24" X 24"

7 RETROREFLECTIVE R1-1 "STOP" SIGN NOT TO SCALE



1 TYPICAL EROSION CONTROL NOT TO SCALE



2 SILT FENCE DETAIL NOT TO SCALE

TABLE 3.32-C SITE SPECIFIC SEEDING MIXTURES FOR APPALACHIAN/MOUNTAIN AREA

Minimum Care Lawn	Total Lbs. Per Acre
- Commercial or Residential	200-250 lbs.
- Kentucky 31 or Turf-Type Tall Fescue	90-100%
- Improved Perennial Ryegrass *	0-10%
- Kentucky Bluegrass	0-10%
High-Maintenance Lawn	
Minimum of three (3) up to five (5) varieties of bluegrass from approved list for use in Virginia.	125 lbs.
General Slope (3:1 or less)	
- Kentucky 31 Fescue	128 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop **	20 lbs.
- Crownvetch ***	150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	
- Kentucky 31 Fescue	108 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop **	20 lbs.
- Crownvetch ***	150 lbs.

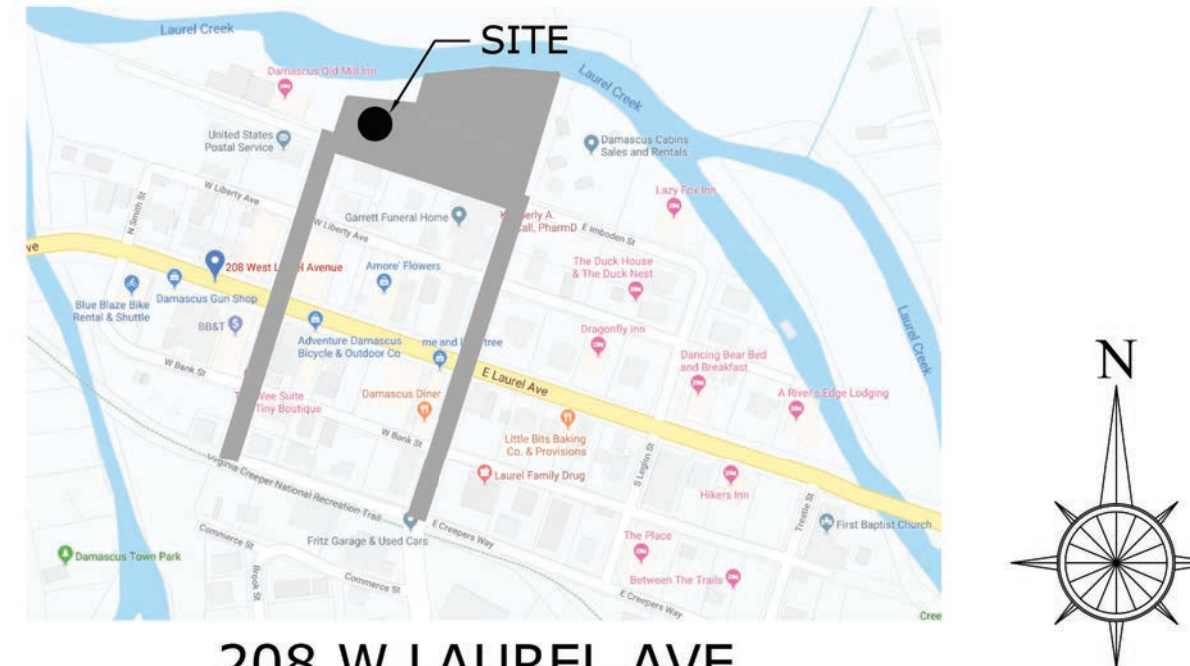
* Perennial Ryegrass will germinate faster and at lower soil temperatures than fescue, thereby providing cover and erosion resistance for seedbed.

** Use seasonal nurse crop in accordance with seeding dates as stated below:
 March, April through May 15th Annual Rye
 May 16th through August 15th Foaial Millet
 August 16th through September, October Annual Rye
 November through February Winter Rye

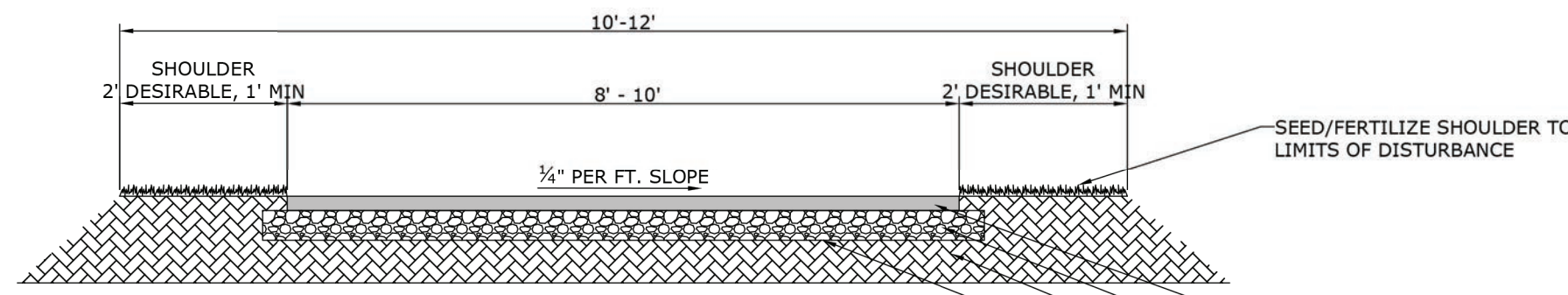
*** If Flatpea is used, increase to 30 lbs./acre. All legume seed must be properly inoculated. Weeping Lovegrass may also be included in any slope or low-maintenance mixture during warmer seeding periods; add 10-20 lbs/acre in mixes.

3 SEEDING INFORMATION NOT TO SCALE

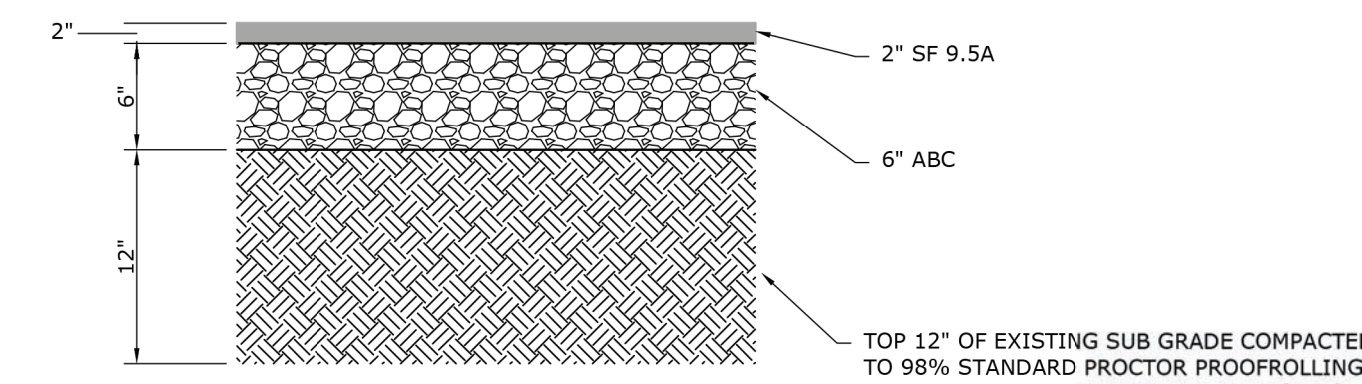
VICINITY MAP NOT TO SCALE



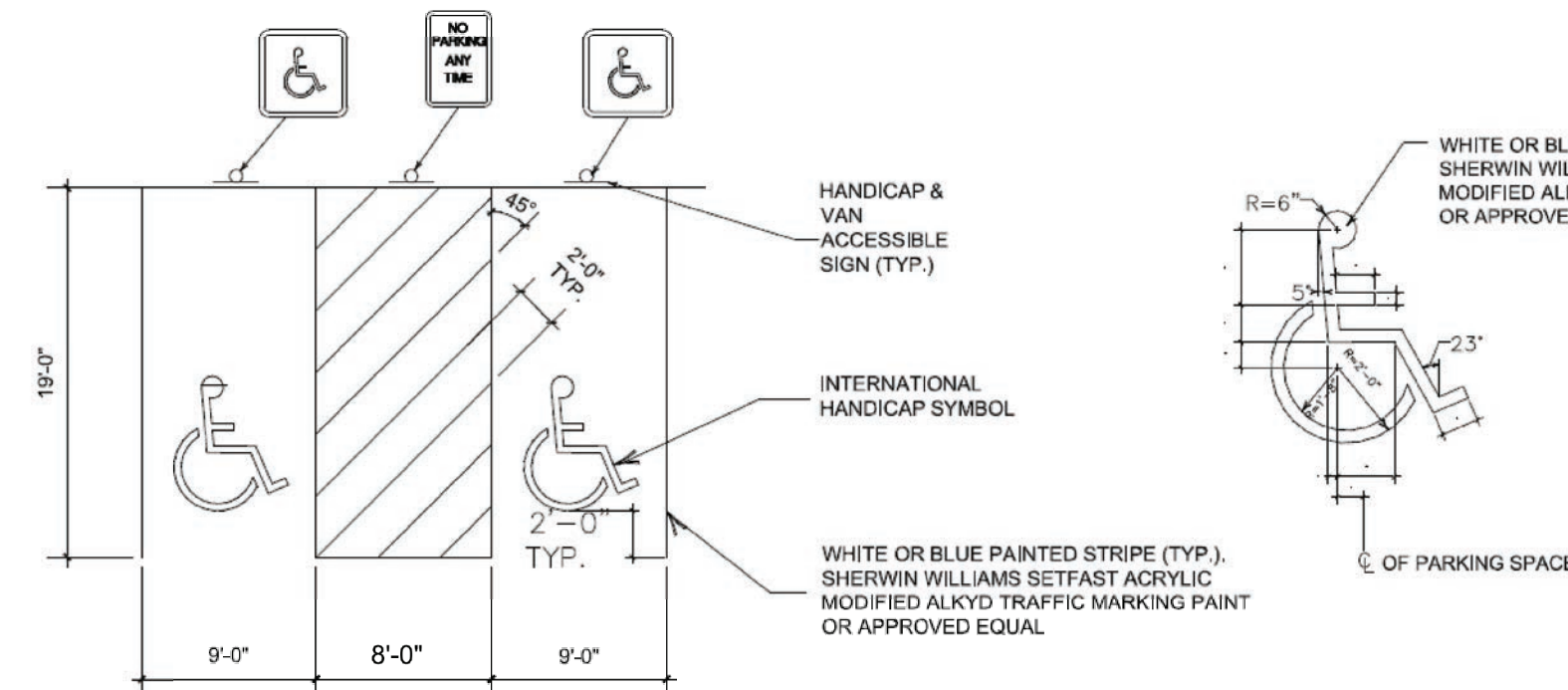
208 W LAUREL AVE. DAMASCUS, VA 24236



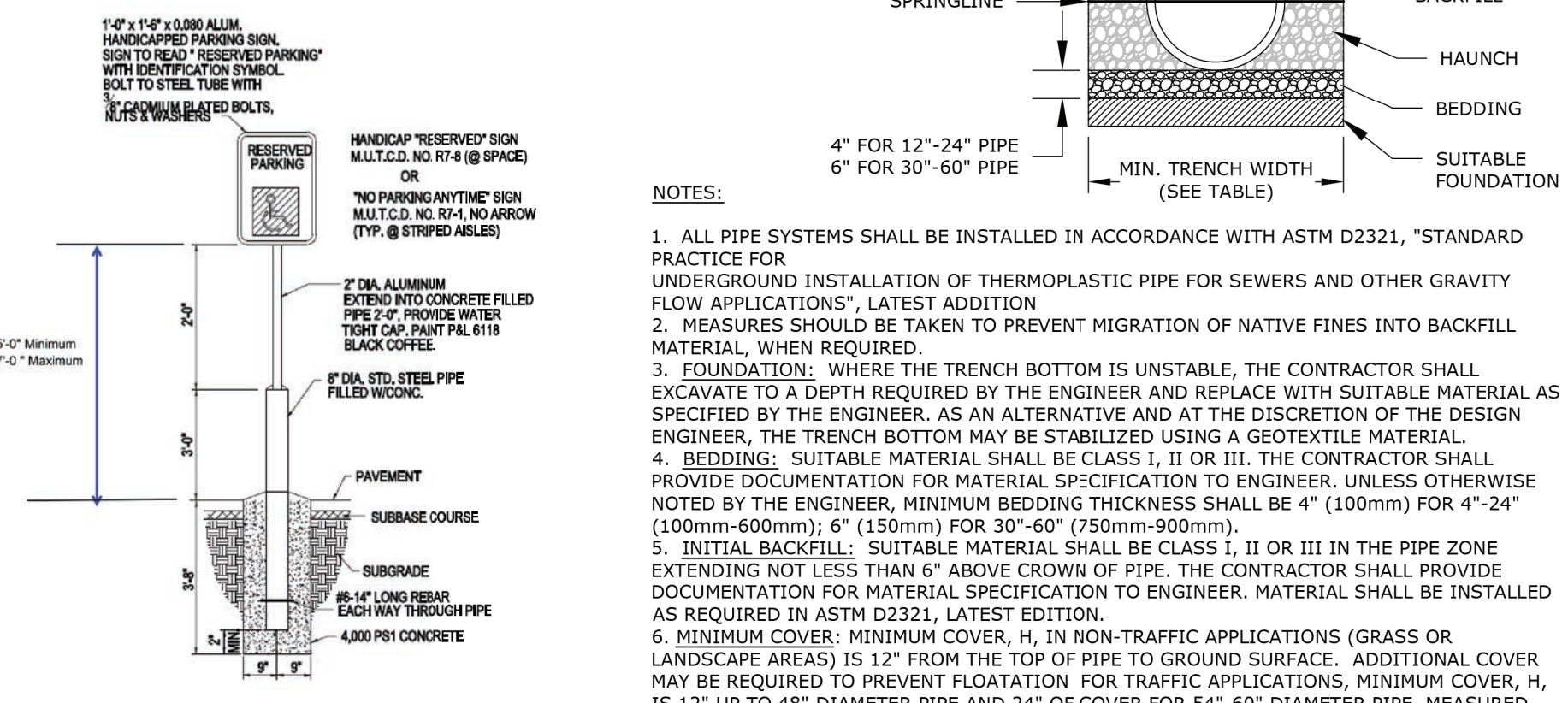
4 8' - 10' ASPHALT MULTIUSE TRAIL CROSS SECTION NOT TO SCALE



5 MULTIUSE TRAIL STANDARD DUTY PAVING SPEC NOT TO SCALE



6 ACCESSIBLE PARKING DETAIL NOT TO SCALE



NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATAION FOR TRAFFIC APPLICATIONS. MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

PROJECT:

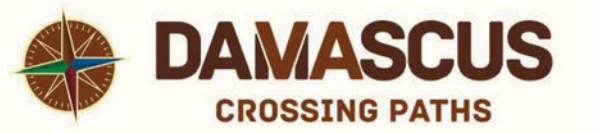
Laurel Creek Park and Trail

ADDRESS:

208 W Laurel Ave. Damascus, VA 24236

DEVELOPER:

Town of Damascus, VA



Mr. Gavin N. Blevins, Town Manager
CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:



Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102



REVISIONS DATE

1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

PROJECT MANAGER: CAG

DRAWING BY: DAD

JURISDICTION: WASHINGTON COUNTY

DATE: 11/22/19

SHEET TITLE:

NOTES & CONSTRUCTION DETAILS

SHEET NUMBER: C-2

SCALE: NTS

FILE NUMBER: 9.26.16



CG-12
GENERAL NOTES:
 1. THE DETECTABLE WARNING SHALL BE PROVIDED BY TRUNCATED DOMES.
 2. DETECTABLE WARNING SHALL BE FROM THE MATERIALS APPROVED LIST FOR DETECTABLE WARNING SURFACES. PRODUCTS NOT LISTED SHALL MEET THE REQUIREMENTS OF THE SPECIAL PROVISION FOR CG-12 DETECTABLE WARNING SURFACES AND SHALL BE SUBMITTED TO THE STANDARDS AND SPECIAL DESIGN SECTION FOR APPROVAL.
 3. SLOPING SIDES OF CURB RAMP MAY BE POURED MONOLITHICALLY WITH RAMP FLOOR OR BY USING PERMISSIBLE CONSTRUCTION JOINT WITH REINFORCED BARS.
 4. IF RAMP FLOOR IS PRECAST, HOLES MUST BE PROVIDED FOR DOVEL BARS SO THAT ADJOINING FLOOR SIDES CAN BE CAST IN PLACE AFTER PLACEMENT OF PRECAST RAMP FLOOR. PRECAST CONCRETE SHALL BE CLASS A-4.
 5. REINFORCED BARS ARE TO BE NO. 5 X 8' PLACED 1' CENTER TO CENTER ALONG BOTH SIDES OF THE RAMP FLOOR, MID-DEPTH OF RAMP FLOOR. MINIMUM CONCRETE COVER 1/2".
 6. CURB / CURB AND GUTTER SLOPE TRANSITIONS ADJACENT TO CURB RAMP ARE INCLUDED IN PAYMENT FOR CURB / CURB AND GUTTER.
 7. CURB RAMP IS TO BE LOCATED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. THEY ARE TO BE PROVIDED AT INTERSECTIONS WHEREVER AN ACCESSIBLE ROUTE WITHIN THE RIGHT OF WAY OF A HIGHWAY FACILITY CROSSES A CURB REGARDLESS OF WHETHER SIDEWALK IS EXISTING, PROPOSED, OR MONUMENTAL. THEY MUST BE LOCATED WITHIN PROPOSED CROSSWALKS AS SHOWN ON PLANS OR AS DIRECTED BY THE ENGINEER AND SHOULD NOT BE LOCATED BEING VEHICLES STOP LINES, EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. ACCESSIBLE ROUTES PROVIDE A CONTINUOUS UNOBSTRUCTED, STABLE-FIRM AND SLIP RESISTANT PATH CONNECTING ALL ACCESSIBLE ELEMENTS OF A FACILITY THAT CAN BE APPROACHED, ENTERED AND USED BY PEDESTRIANS.
 8. RAMP IS TO BE PLACED ON RADIAL OR TANGENTIAL SECTIONS PROVIDED THAT THE CURB OPENING IS PLACED WITHIN THE LIMITS OF THE CROSSWALK AND THAT THE SLOPE AT THE CONNECTION OF THE CURB OPENING IS PERPENDICULAR TO THE CURB.
 9. TYPICAL CONCRETE SIDEWALK IS 4" THICK. WHEN THE ENTRANCE RADIUS CANNOT ACCOMMODATE THE TURNING REQUIREMENTS OF ANTICIPATED HEAVY TRUCK TRAFFIC, REFER TO STANDARD CG-13, COMMERCIAL ENTRANCE (HEAVY TRUCK TRAFFIC) FOR CONCRETE DEPTH.
 10. WHEN CURB RAMP ARE USED IN CONJUNCTION WITH A SHARED USE PATH, THE MINIMUM WIDTH SHALL BE THE WIDTH OF THE SHARED USE PATH.
 11. WHEN ONLY ONE CURB RAMP IS PROVIDED FOR TWO CROSSINGS (DIAGONAL), A 4' x 4' LANDING AREA SHALL BE PROVIDED TO MANUEVER A WHEELCHAIR INTO THE CROSSWALK WITHOUT GOING INTO THE TRAVELWAY. THIS 4' x 4' LANDING AREA MAY INCLUDE THE GUTTER PAN.
 12. ALL CASES WHERE CURB RAMP INTERSECT A RADIAL SECTION OF CURB AT ENTRANCES OR STREET CONNECTIONS, THE DETECTABLE WARNING SURFACE SHALL HAVE A FACTORY RADIUS OR BE FIELD MODIFIED AS RECOMMENDED BY THE MANUFACTURER TO MATCH THE BACK OF CURB.
 13. DETECTABLE WARNING AT BACK OF CURB SEE NOTE 12.

NOTE: COMPONENTS OF CURB RAMP CONSIST OF THE FOLLOWING:
 HYDRALUS CEMENT SIDEWALK (DEPTH IN INCHES AREA IN SQUARE YARDS) CURB WHEN REQUIRED (CG-2 OR CG-3 IN LINEAR FEET) DETECTABLE WARNING SURFACE (AREA IN SQUARE YARDS) EACH OF THE ABOVE ITEMS IS A SEPARATE PAY ITEM AND SHOULD BE SUMMARIZED FOR EACH CURB CUT RAMP.

TYPE A PERPENDICULAR
TYPE B PARALLEL
TYPE C PARALLEL & PERPENDICULAR

DETECTABLE WARNING INSTALLED ON A RADIUS
TRUNCATED DOME DETAIL
DETECTABLE WARNING DETAIL

SPECIFICATION REFERENCE	ROAD AND BRIDGE STANDARDS	REVISION DATE	SHEET 1 OF 1
105 502	VDOT	07/15	201.01

1 DETECTABLE WARNING SURFACE
 NOT TO SCALE

NOTES:

- 1.) DETECTABLE WARNING SURFACES TO BE BURGUNDY IN COLOR. COLOR MATCH TO EXISTING TOWN WARNING SURFACES.

CG-2
GENERAL NOTES:
 1. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
 2. CONCRETE TO BE CLASS A3 IF CAST IN PLACE, 4000 PSI IF PRECAST.
 3. CURB HAVING A RADIUS OF 300 FEET OR LESS (ALONG FACE OF CURB) WILL BE PAD FOR AS RADIAL CURB.
 4. THE DEPTH OF CURB MAY BE REDUCED AS MUCH AS 3" (15" DEPTH) OR INCREASED AS MUCH AS 12" (18" DEPTH) IN ORDER THAT THE TOP OF CURB WILL CONFORM WITH THE TOP OF A CURVE OF THE UNDERLYING STRUCTURE. OTHERWISE, THE DEPTH IS TO BE 18" AS SHOWN. NO ADJUSTMENT IN THE BID IS TO BE MADE FOR A DECREASE OR AN INCREASE IN DEPTH.
 5. CG-2 IS TO BE USED ON ROADWAYS MEETING THE REQUIREMENTS FOR CG-6 AS SHOWN IN APPENDIX A OF THE VDOT ROAD DESIGN MANUAL, IN THE SECTION ON GS URBAN STANDARDS.

ACCEPTABLE ALTERNATIVE IF CURB IS EXTRUDED

STANDARD 6" CURB

SPECIFICATION REFERENCE	ROAD AND BRIDGE STANDARDS	REVISION DATE	SHEET 1 OF 1
105 502	VDOT	07/15	201.01

4 STANDARD 6" CURB DETAIL
 NOT TO SCALE

PM-3
GENERAL NOTES:
 1. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THESE STANDARDS, THE MUTCD AND THE VIRGINIA SUPPLEMENT TO THE MUTCD, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
 2. THE LOCATION, WIDTH, AND TYPE OF THE PAVEMENT MARKINGS SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.
 3. CROSSWALKS SHALL ALIGN WITH CURB RAMP IN ACCORDANCE WITH STANDARD CG-12. THE CROSSWALK SHALL BE AT LEAST AS WIDE AS THE LEVEL LANDING AREA OF THE CURB RAMP.
 4. WHEN LONGITUDINAL LINES ARE SPECIFIED FOR THE CROSSWALK, THE LONGITUDINAL LINES SHALL BE PARALLEL TO THE PATH OF THRU TRAFFIC.
 5. GAPS BETWEEN LONGITUDINAL LINES SHALL BE BETWEEN 2 - 5 FEET. GAP SPACING MAY VARY IN ORDER TO ALIGN LINES SUCH THAT THEY ARE OUTSIDE THE WHEEL PATHS OF THRU TRAFFIC. THE FIRST AND LAST LINES SHALL BE 2' MAXIMUM FROM EDGE OF SHOULDER OR EDGE OF GUTTER PAN.

TYPICAL PAVEMENT MARKING CROSSWALK WIDTHS

CROSSWALK WIDTH (TRANSVERSE LINES)
TRANSVERSE LINES
LONGITUDINAL LINES
LONGITUDINAL LINES AT SKEWED INTERSECTIONS (SEE NOTE 4)

ROADWAY GRADE IN PERCENT	MINIMUM RAMP LENGTH IN FEET	4" CURB	6" CURB
0	2	4	5
1	2	5	6
2	3	5	7
3	3	6	8
4	4	6	9
5	5	7	10
6	7	7	12
7	13	10	15
8	15	10	15

THE REQUIRED LENGTH OF A PARALLEL RAMP IS LIMITED TO 15 FEET, REGARDLESS OF THE SLOPE.

SPECIFICATION REFERENCE	ROAD AND BRIDGE STANDARDS	REVISION DATE	SHEET 4 OF 5
105 502	VDOT	07/15	203.08

2 CROSS WALK DETAIL
 NOT TO SCALE

DI-1A
GENERAL NOTES:
 1. DEPTH OF BLET (H) TO BE SHOWN ON PLANS. MAXIMUM DEPTH (H) TO BE 20". FOR DEPTHS LESS THAN 10" USE STANDARD DI-1.
 2. THE "H" DIMENSION SHOWN ON THE STANDARDS AND SPECIFIED ON THE PLANS WILL BE MEASURED FROM THE INVERT OF THE OUTFALL PIPE TO THE TOP OF THE STRUCTURE. THE "H" DIMENSIONS ARE APPROXIMATE ONLY FOR ESTIMATING PURPOSES AND THE ACTUAL DIMENSIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD CONDITIONS.
 3. WHEN SPECIFIED ON THE PLANS THE INVERT IS TO BE SHAPED IN ACCORDANCE WITH STANDARD DI-1. THE COST OF FURNISHING AND PLACING ALL MATERIALS INCIDENTAL TO THE SHAPING IS TO BE INCLUDED IN THE BID PRICE FOR THE STRUCTURE.
 4. IN THE EVENT THE INVERT OF THE OUTFALL PIPE IS HIGHER THAN THE BOTTOM OF THE STRUCTURE, THE INVERT OF THE STRUCTURE SHALL BE SHAPED WITH CEMENT MORTAR TO PREVENT STANDING OR POONING OF WATER IN THE STRUCTURE. THE COST OF FURNISHING AND PLACING ALL MATERIALS INCIDENTAL TO THE SHAPING IS TO BE INCLUDED IN THE BID PRICE FOR THE STRUCTURE.
 5. STEPS ARE REQUIRED. FOR DETAILS SEE STANDARD ST-1.
 6. THIS ITEM MAY BE PRECAST OR CAST-IN-PLACE.

REINFORCING STEEL SCHEDULE

MARK	SIZE	NO REQ'D	LENGTH
Bars H	#5	8x(H+2)	3'-10"
Bars V	#4	40	H+4"

APPROXIMATE QUANTITIES FOR MINIMUM (10') DEPTH

CONCRETE PIPE DIAMETER	CONCRETE Cu. Yds.	REIN. STEEL Lbs.
12"	5.218	655
15"	5.193	651
18"	5.183	647
24"	5.099	639

Increments to be added for each additional foot of depth (H)
 0.465 Cu. Yds. of concrete
 58.7 Lbs. of reinforcing steel

STANDARD DROP INLET
12" - 24" PIPE: DEPTH (H) 10' TO 20'

SPECIFICATION REFERENCE	ROAD AND BRIDGE STANDARDS	REVISION DATE	SHEET 1 OF 1
233 302	VDOT	07/15	104.02

5 STANDARD DROP INLET
 NOT TO SCALE

CG-12
GENERAL NOTES:
 1. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THESE STANDARDS, THE MUTCD AND THE VIRGINIA SUPPLEMENT TO THE MUTCD, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
 2. THE LOCATION, WIDTH, AND TYPE OF THE PAVEMENT MARKINGS SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.
 3. CROSSWALKS SHALL ALIGN WITH CURB RAMP IN ACCORDANCE WITH STANDARD CG-12. THE CROSSWALK SHALL BE AT LEAST AS WIDE AS THE LEVEL LANDING AREA OF THE CURB RAMP.
 4. WHEN LONGITUDINAL LINES ARE SPECIFIED FOR THE CROSSWALK, THE LONGITUDINAL LINES SHALL BE PARALLEL TO THE PATH OF THRU TRAFFIC.
 5. GAPS BETWEEN LONGITUDINAL LINES SHALL BE BETWEEN 2 - 5 FEET. GAP SPACING MAY VARY IN ORDER TO ALIGN LINES SUCH THAT THEY ARE OUTSIDE THE WHEEL PATHS OF THRU TRAFFIC. THE FIRST AND LAST LINES SHALL BE 2' MAXIMUM FROM EDGE OF SHOULDER OR EDGE OF GUTTER PAN.

TYPICAL PLACEMENT AT INTERSECTION WITH BUFFER STRIP

TYPE C PARALLEL & PERPENDICULAR APPLICATION

ROADWAY GRADE IN PERCENT	MINIMUM RAMP LENGTH IN FEET	4" CURB	6" CURB
0	2	4	5
1	2	5	6
2	3	5	7
3	3	6	8
4	4	6	9
5	5	7	10
6	7	7	12
7	13	10	15
8	15	10	15

THE REQUIRED LENGTH OF A PARALLEL RAMP IS LIMITED TO 15 FEET, REGARDLESS OF THE SLOPE.

SPECIFICATION REFERENCE	ROAD AND BRIDGE STANDARDS	REVISION DATE	SHEET 4 OF 5
105 502	VDOT	07/15	203.08

3 CURB RAMP DETAIL
 NOT TO SCALE

EC-1
GENERAL NOTES:
 1. FOR MULTIPLE LINE INSTALLATIONS, DIMENSION S IS TO GOVERN THE PROTECTION OUTSIDE THE CHANNEL WIDTH (W).
 2. ON ANY INSTALLATION REQUIRING CULVERT OUTLET PROTECTION WHERE NO ENDWALL OR ENDSECTION IS SPECIFIED ON THE PLANS, CONSTRUCTION IS TO BE IN ACCORDANCE WITH DETAIL 2 SHOWN ABOVE.
 3. GEOTEXTILE FABRIC TO BE INSTALLED UNDER CLASS A, I, AND II MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS.
 4. S = DIAMETER OF CIRCULAR CULVERT OR SPAN FOR BOX, ELLIPTICAL OR ARCH CULVERT. H = DIAMETER OF CIRCULAR CULVERT OR RISE/HEIGHT FOR BOX, ELLIPTICAL OR ARCH CULVERT.
 * USE TYPICAL SECTION SHOWN ON PLANS FOR SIDE SLOPE, BOTTOM WIDTH AND DEPTH OF CHANNEL OR MATCH EXISTING DITCH OR NATURAL GROUND.

CULVERT OUTLET PROTECTION

TYPE OF OUTLET PROTECTION MATERIAL	MAXIMUM OUTLET VELOCITY (FOR DESIGN STORM)	MINIMUM "H" (INCHES)
CLASS A1 CLASS A1 DRY RR/RAP	8 fpa	15
CLASS I CLASS I DRY RR/RAP	14 fpa	24
CLASS II CLASS II DRY RR/RAP	19 fpa	36

OUTLET PROTECTION MINIMUM LENGTH (L)

TYPE A INSTALLATION	SH
TYPE B INSTALLATION	SH

SPECIFICATION REFERENCE	ROAD AND BRIDGE STANDARDS	REVISION DATE	SHEET 1 OF 1
209 234 361 414	VDOT	07/15	114.01

6 CULVERT OUTLET PROTECTION
 NOT TO SCALE

PROJECT:
 Laurel Creek
 Park and Trail

ADDRESS:
 208 W Laurel Ave.
 Damascus, VA 24236

DEVELOPER:
 Town of
 Damascus, VA

DAMASCUS
 CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
 (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
 DESTINATION BY DESIGN
 studios

Destination by Design Studios, PLLC
 136 Furman Rd, Ste. 6
 Boone, NC 28607
 828-386-1866
 www.dbdplanning.com

SEAL: VA 2102

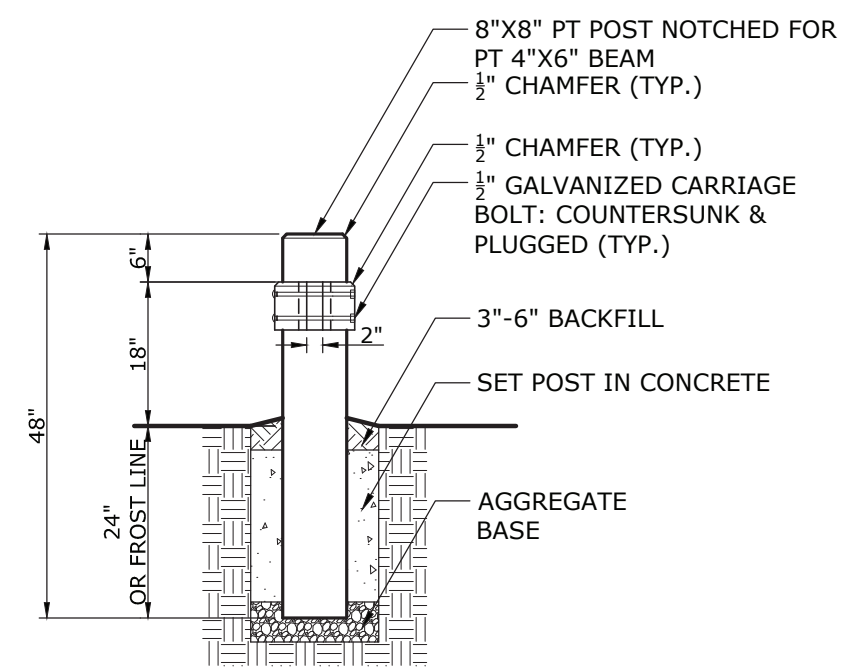
11.22.19
 Charles A. Gotherman
 Lic. No. 2102
 Charles A. Gotherman
 LANDSCAPE ARCHITECT
 11/22/19

REVISIONS	DATE
1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

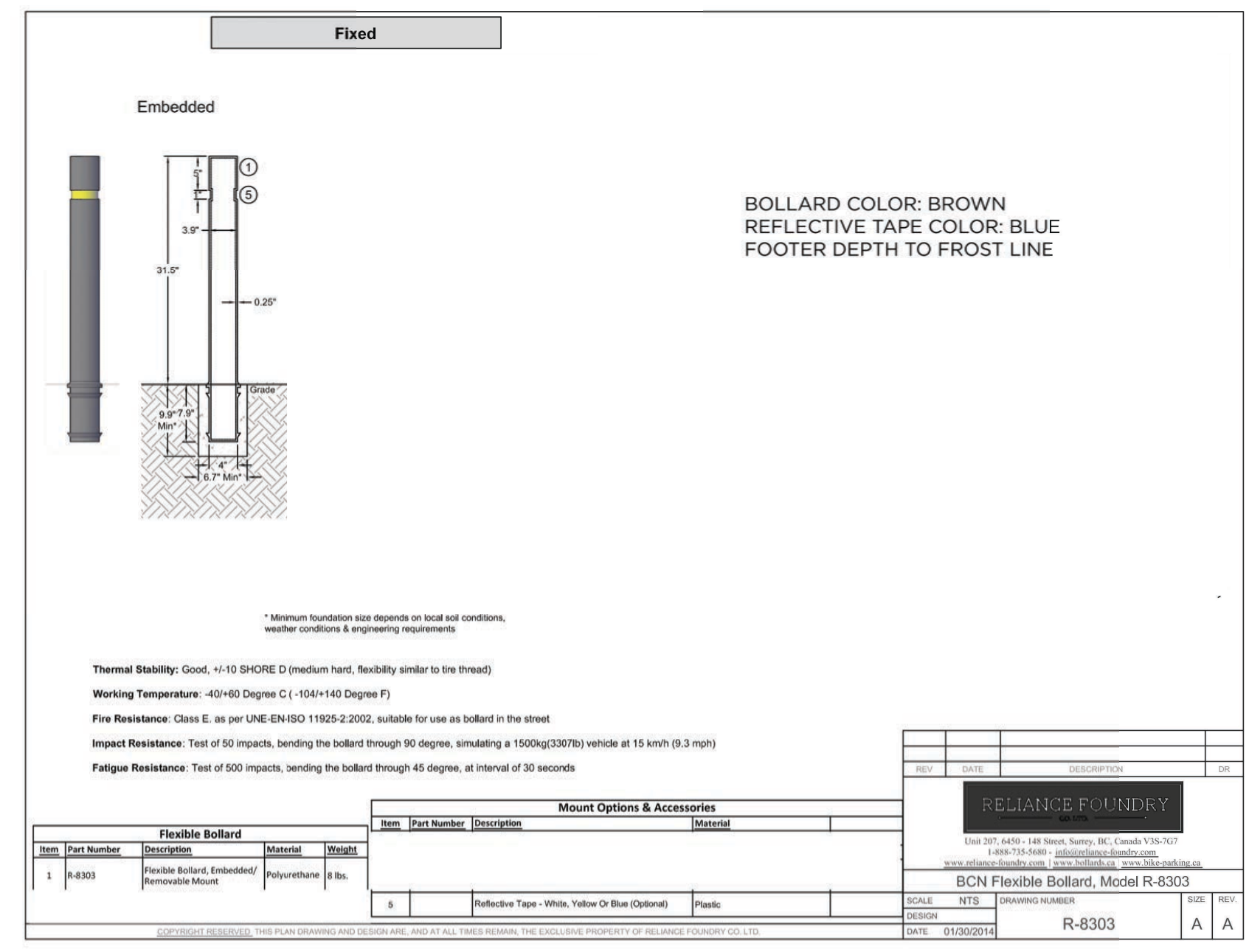
NOTES & CONSTRUCTION DETAILS
SHEET NUMBER: C-2.1
SCALE: NTS
FILE NUMBER: 9.26.16



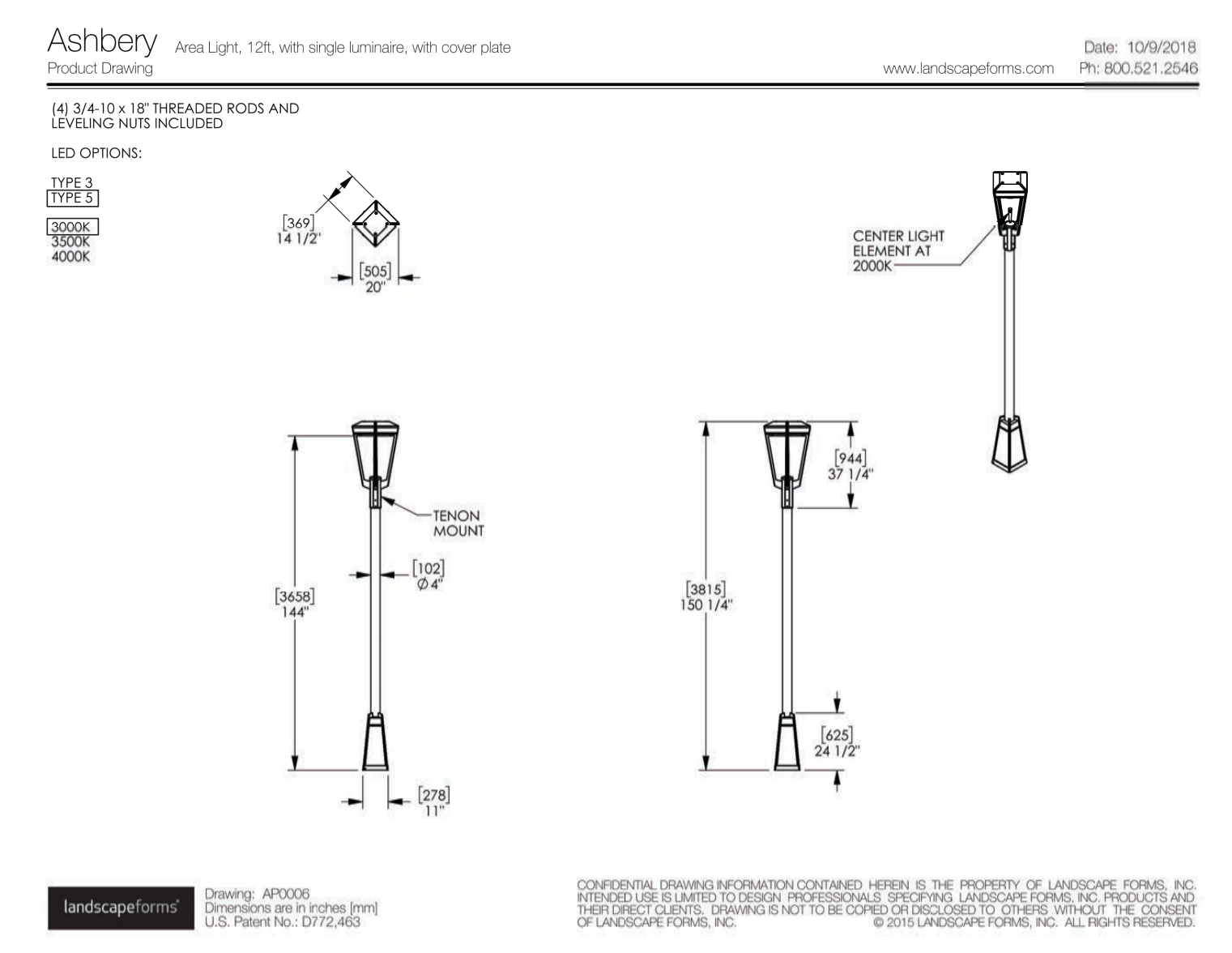


- NOTES:
- 1) ALL REFERENCED PRESSURE-PRESERVATIVE TREATED LUMBER (PT) SHALL BE SOUTHERN PINE, #2 OR BETTER.
 - 2) ALL EXPOSED WOOD TO BE STAINED WITH SW3007 - LODGE BROWN (OR APPROVED EQUAL)

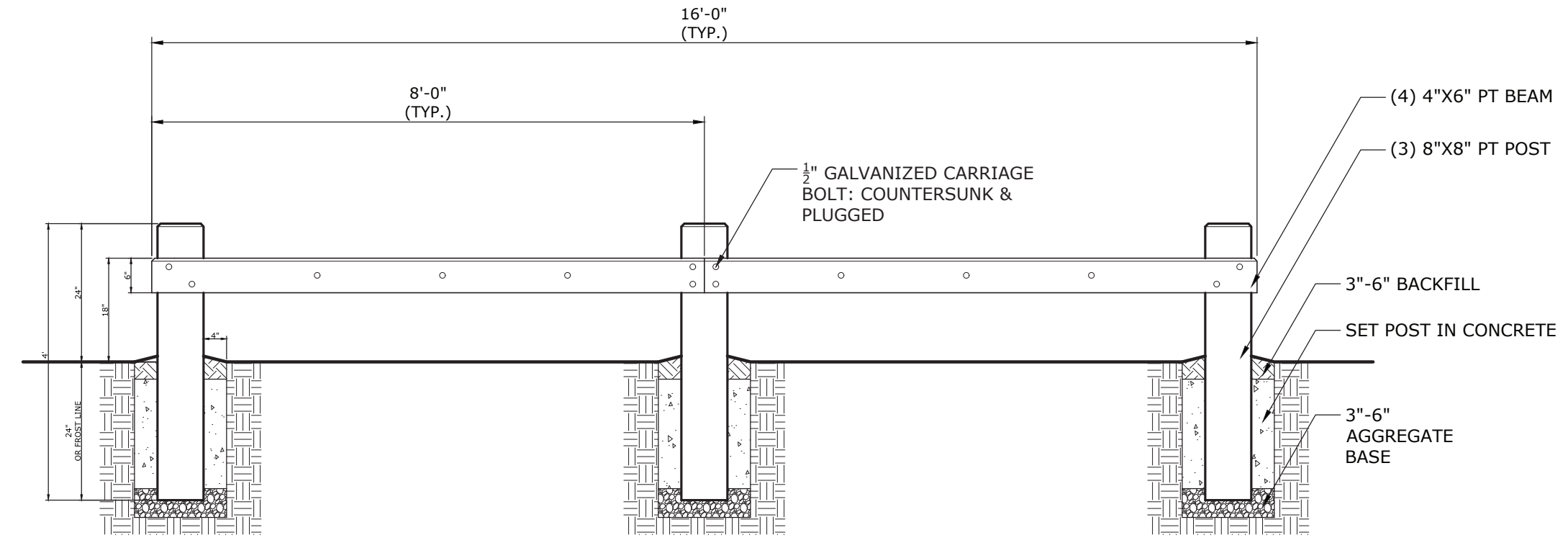
1 WOOD GUARDRAIL & BENCH DETAIL
3/4" = 1'-0"



4 FLEXIBLE BOLLARD, R-8303 (OR APPROVED EQUAL) DETAIL
NTS

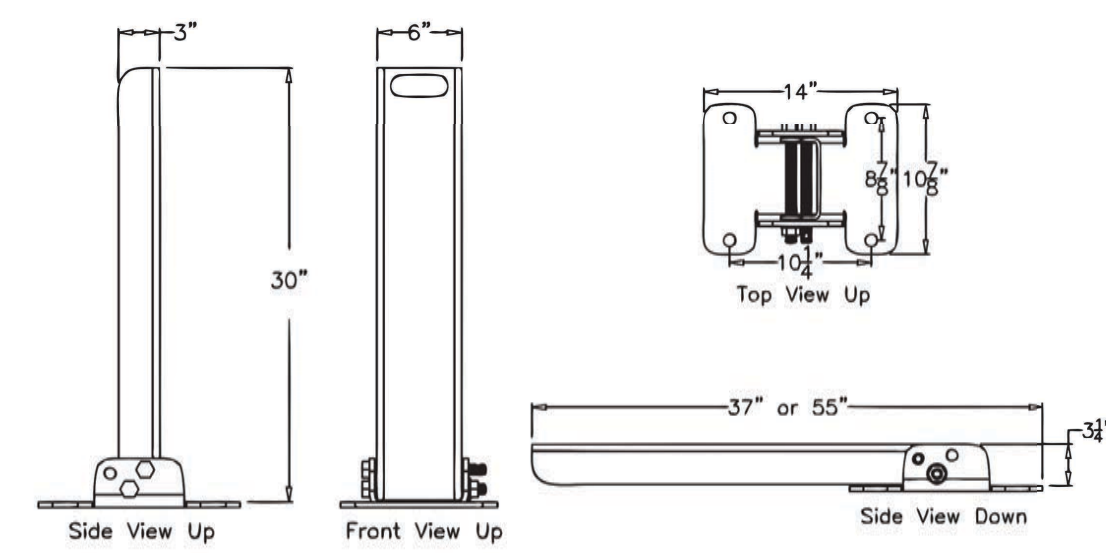


7 ASHBERY AREA LIGHT (OR APPROVED EQUAL)
NOT TO SCALE

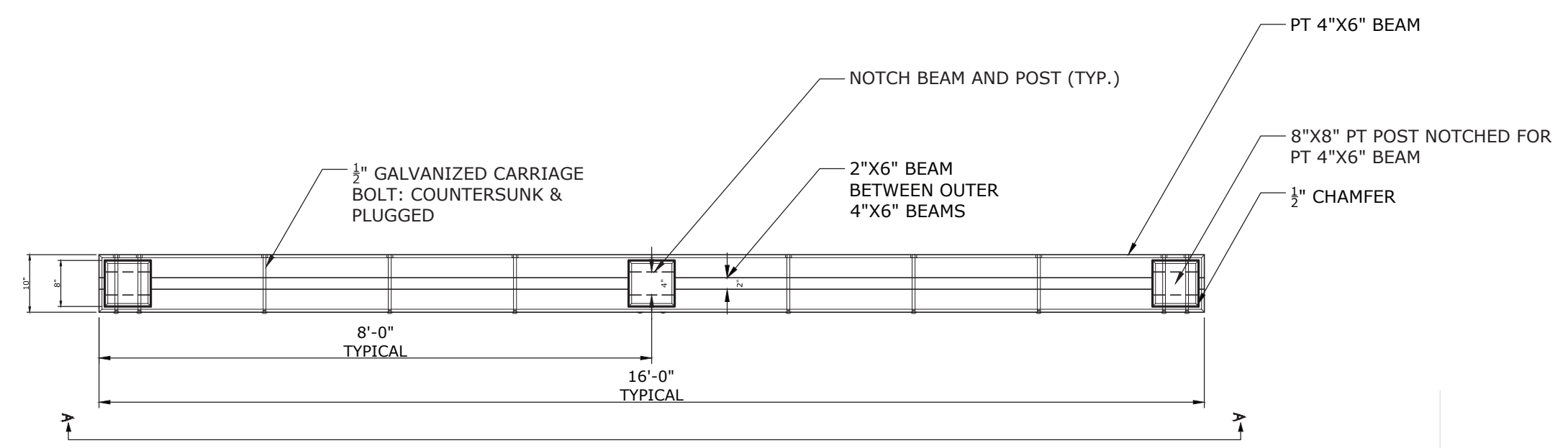


- NOTES:
- 1) ALL REFERENCED PRESSURE-PRESERVATIVE TREATED LUMBER (PT) SHALL BE SOUTHERN PINE, #2 OR BETTER.
 - 2) ALL EXPOSED WOOD TO BE STAINED WITH SW3007 - LODGE BROWN (OR APPROVED EQUAL)

2 SECTION "A-A" AT WOOD GUARDRAIL & BENCH
3/4" = 1'-0"

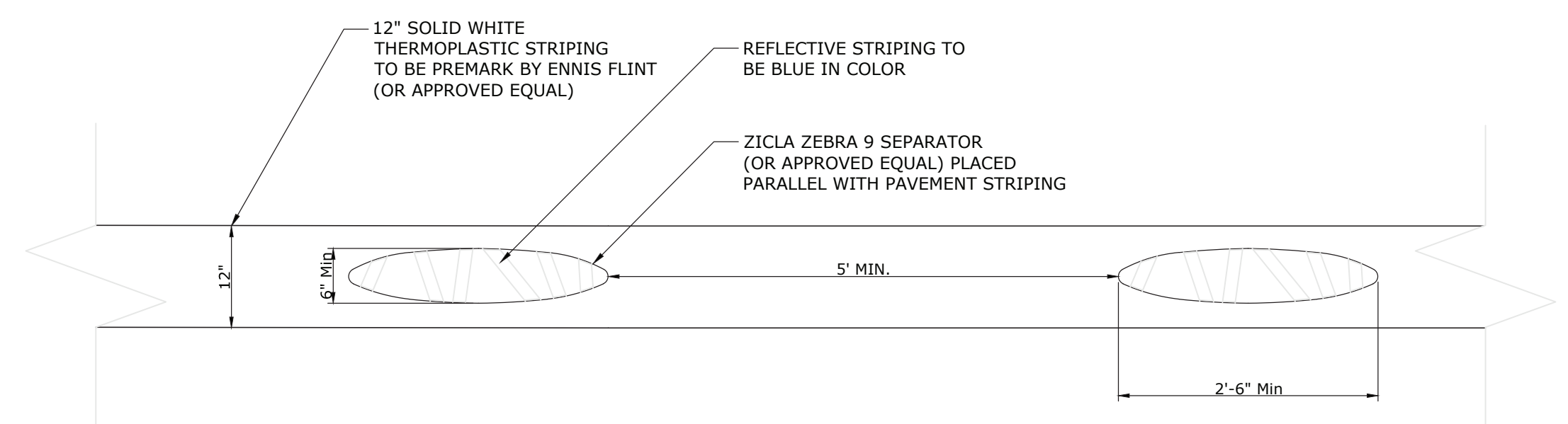


5 BELSON COLLAPSIBLE BOLLARD MODEL #BCB-30 (OR APPROVED EQUAL)
NTS

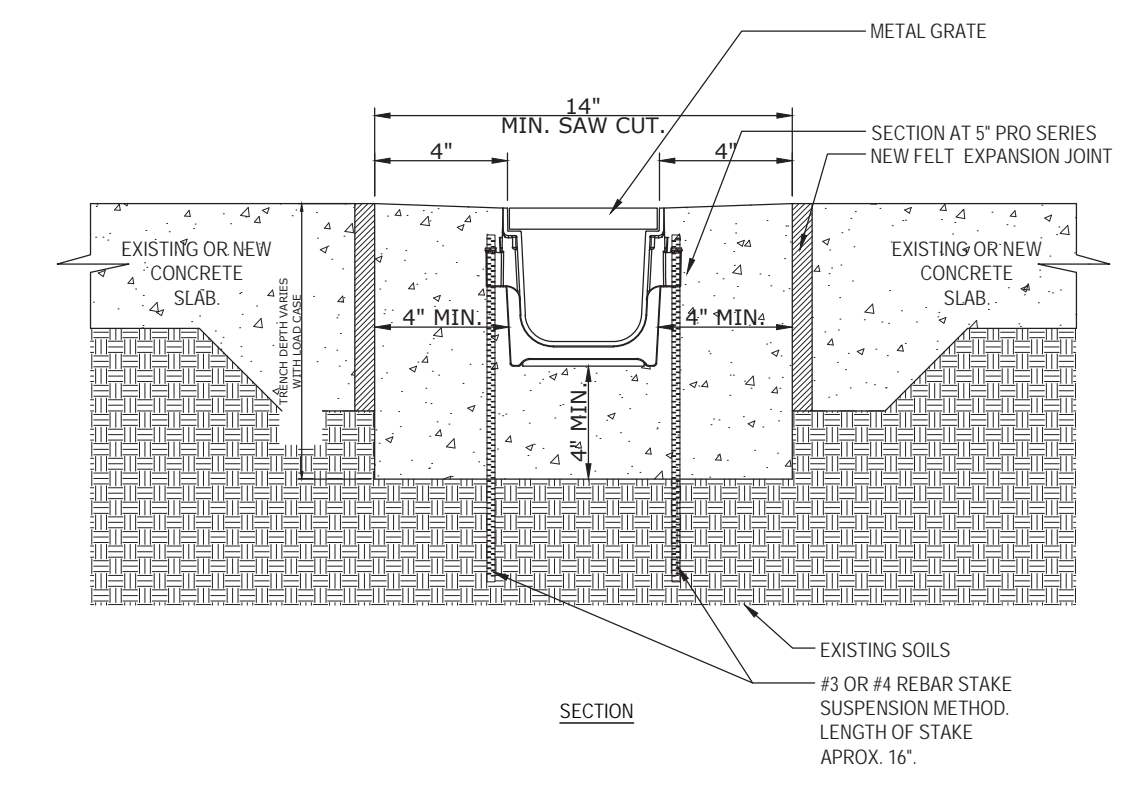


- NOTES:
- 1) ALL REFERENCED PRESSURE-PRESERVATIVE TREATED LUMBER (PT) SHALL BE SOUTHERN PINE, #2 OR BETTER.
 - 2) ALL EXPOSED WOOD TO BE STAINED WITH SW3007 - LODGE BROWN (OR APPROVED EQUAL)

3 WOOD GUARDRAIL & BENCH PLAN VIEW
3/4" = 1'-0"



6 ZICLA ZEBRA 9 LANE SEPARATOR (OR APPROVED EQUAL) PLAN VIEW
3/4" = 1'-0"



- NOTES:
1. CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 6. LOWES ITEM #671738 MODEL #864GHTL

9 NDS PRO SERIES CHANNEL DRAIN SYSTEM (OR APPROVED EQUAL)
5" PRO SERIES - LOAD CLASS 'A' & 'B' - 4" ENCASEMENT REBAR SUSPENSION
NTS

PROJECT:
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Damascus, VA 24236

DEVELOPER:
Town of Damascus, VA

DAMASCUS
CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
DESTINATION BY DESIGN studios

Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102

COMMONWEALTH OF VIRGINIA
11.22.19
Charles A. Gotherman
Lic. No. 2102
Charles A. Gotherman
LANDSCAPE ARCHITECT
11/22/19

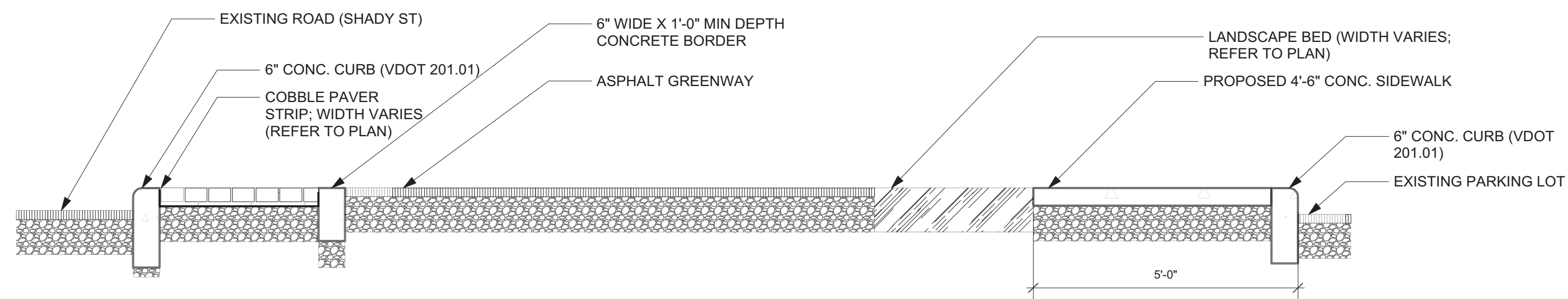
REVISIONS	DATE
1 WACO COMMENTS	10/02/19
2 VDOT COMMENTS	10/03/19

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

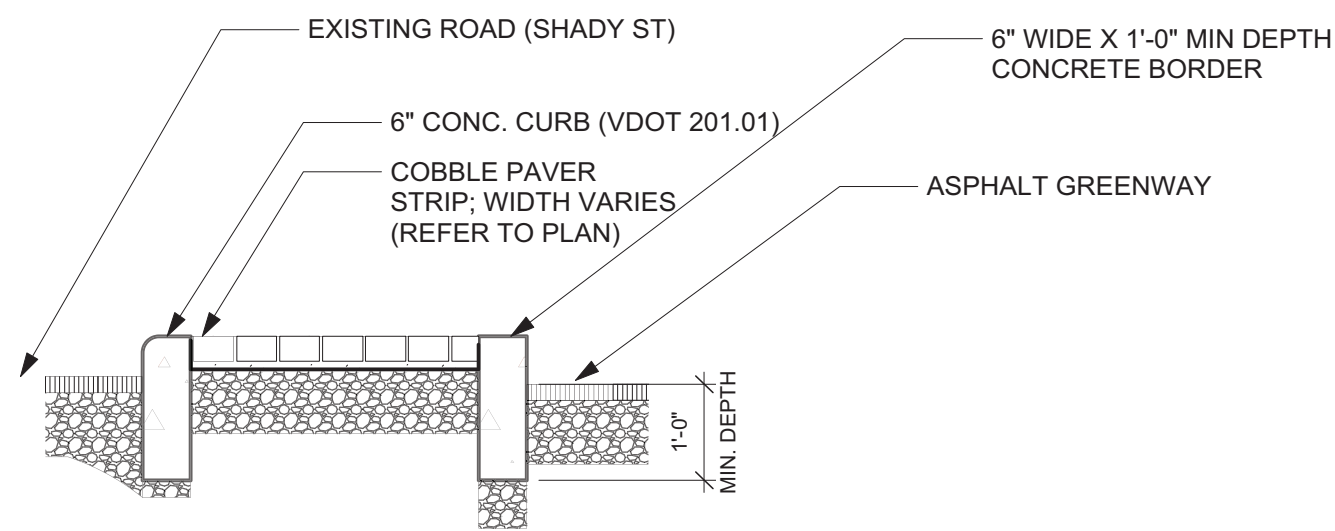
NOTES & CONSTRUCTION DETAILS
SHEET NUMBER: C-2.2
SCALE: NTS

FILE NUMBER: 9.26.16

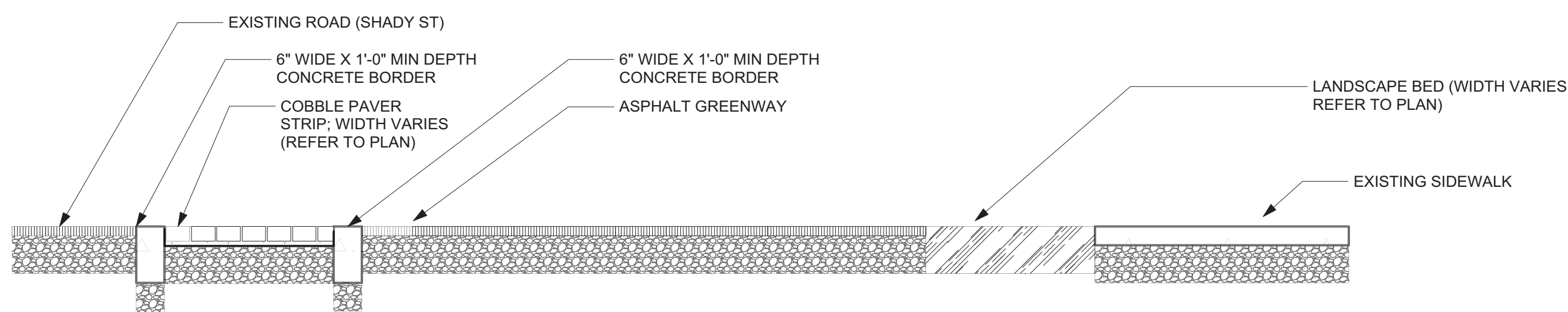




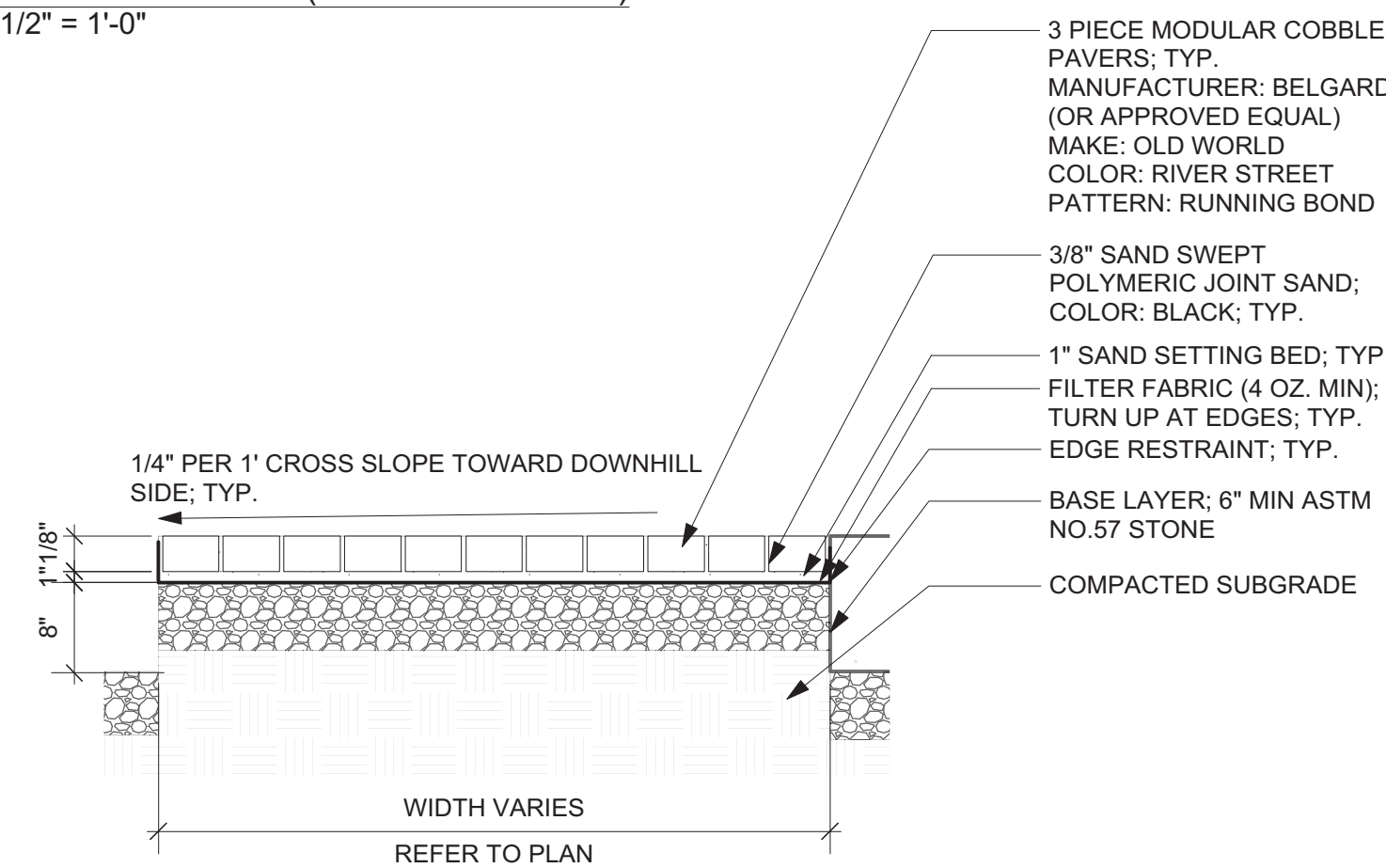
1 SECTION A - SHADY ST (CREEPER TO BANK)
Scale: 1/2" = 1'-0"



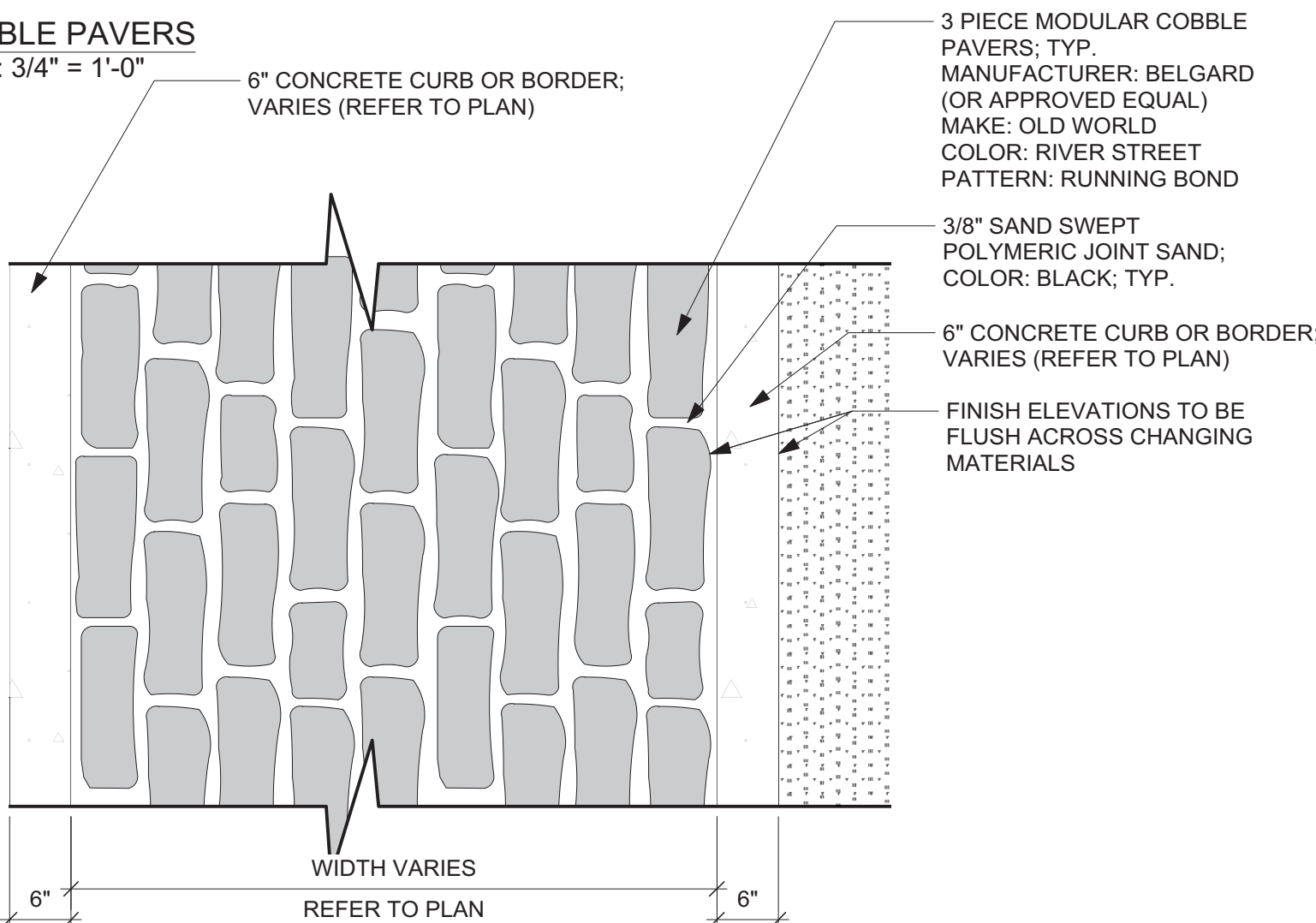
2 SECTION B - SHADY ST (RAISED PAVERS)
Scale: 1/2" = 1'-0"



3 SECTION C - SHADY ST (BANK TO LAUREL)
Scale: 1/2" = 1'-0"

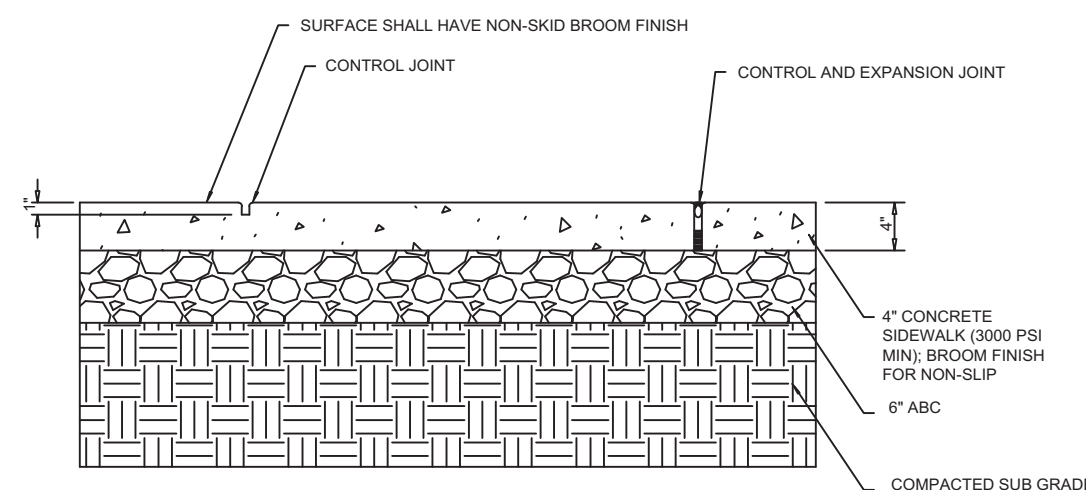


4 COBBLE PAVERS
Scale: 3/4" = 1'-0"



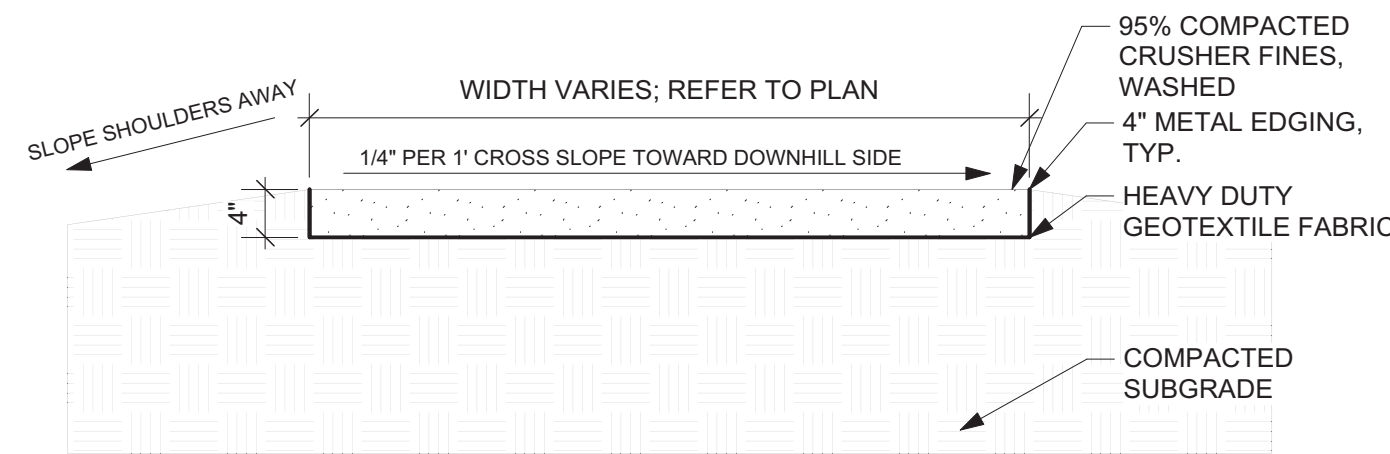
PAVER NOTES:
(1) PATTERN "A" SHALL BE USED FOR LINEAR STREETSCAPE.
(2) PATTERN 25% RUNNING BOND SHALL BE USED FOR COMPASS INTERIOR.

5 COBBLE PAVERS
Scale: 3/4" = 1'-0"



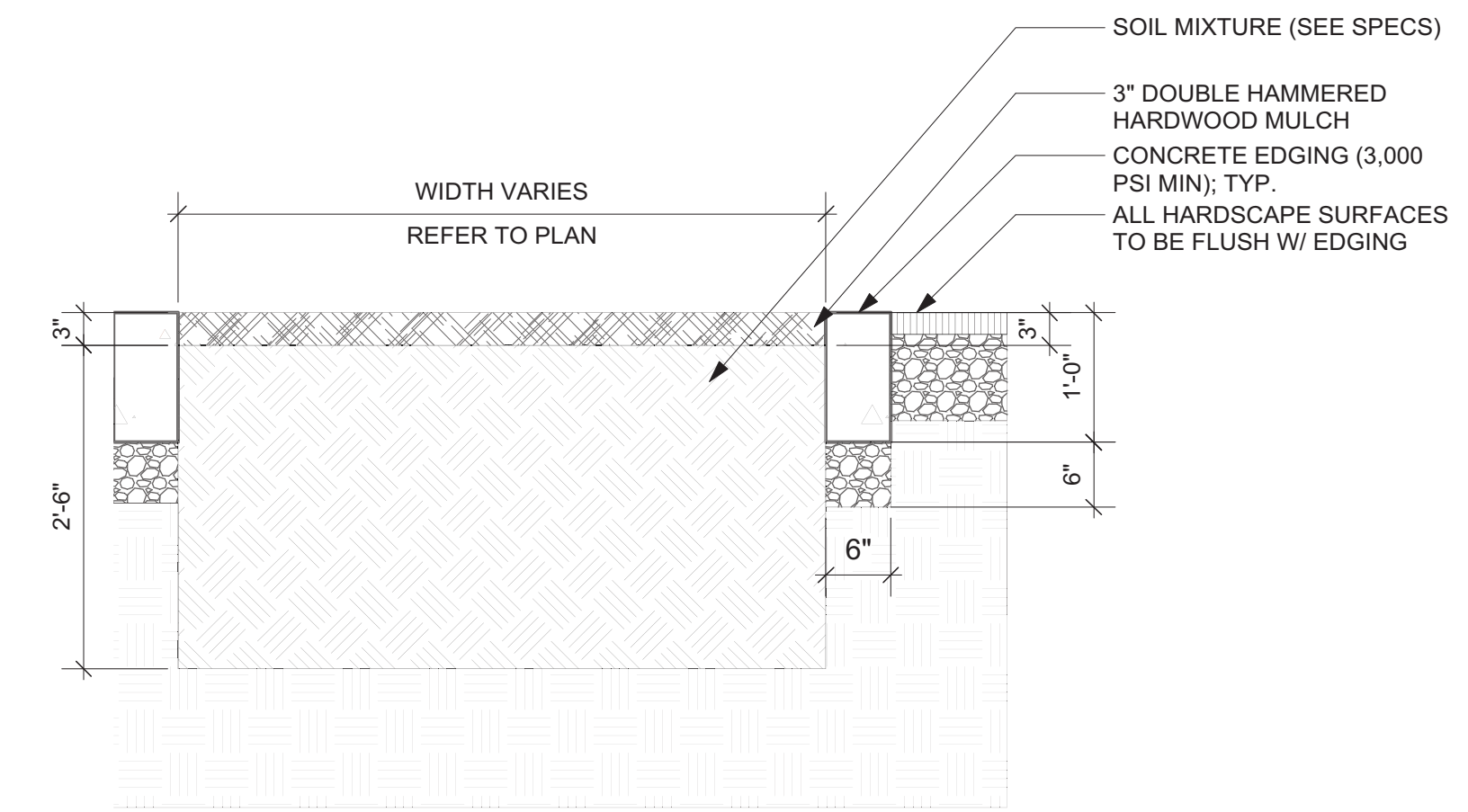
NOTES:
1.) PROVIDE HAND TOOLED TRANSVERSE & LONGITUDINAL CONTRACTION JOINTS AT 9' O.C., 1" EXPANSION JOINTS @ 25' O.C. MAX.
2.) ALL SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1/4" INCH PER FT TO DRAIN TOWARDS STREET.

6 CONCRETE SIDEWALK DETAIL
Scale: 3/4" = 1'-0"

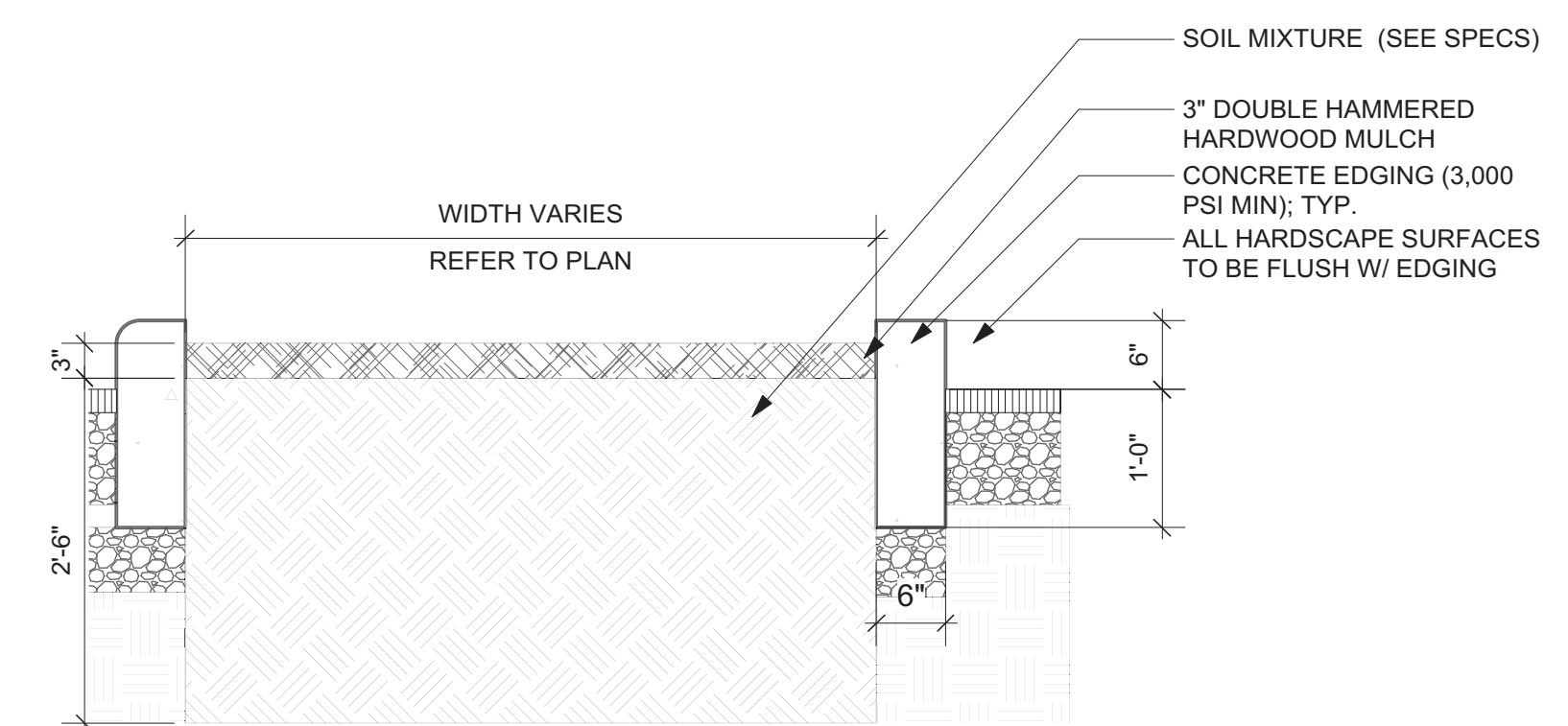


NOTES:
3/8" MINUS SIEVE TO MAINTAIN THE FOLLOW SPECIFICATION:
3/8 inch sieve - 100% passing
1/4 inch sieve - 65% passing
3/16 inch sieve - 50% passing
1/8 inch sieve - 35% passing
1/16 inch sieve - 25% passing

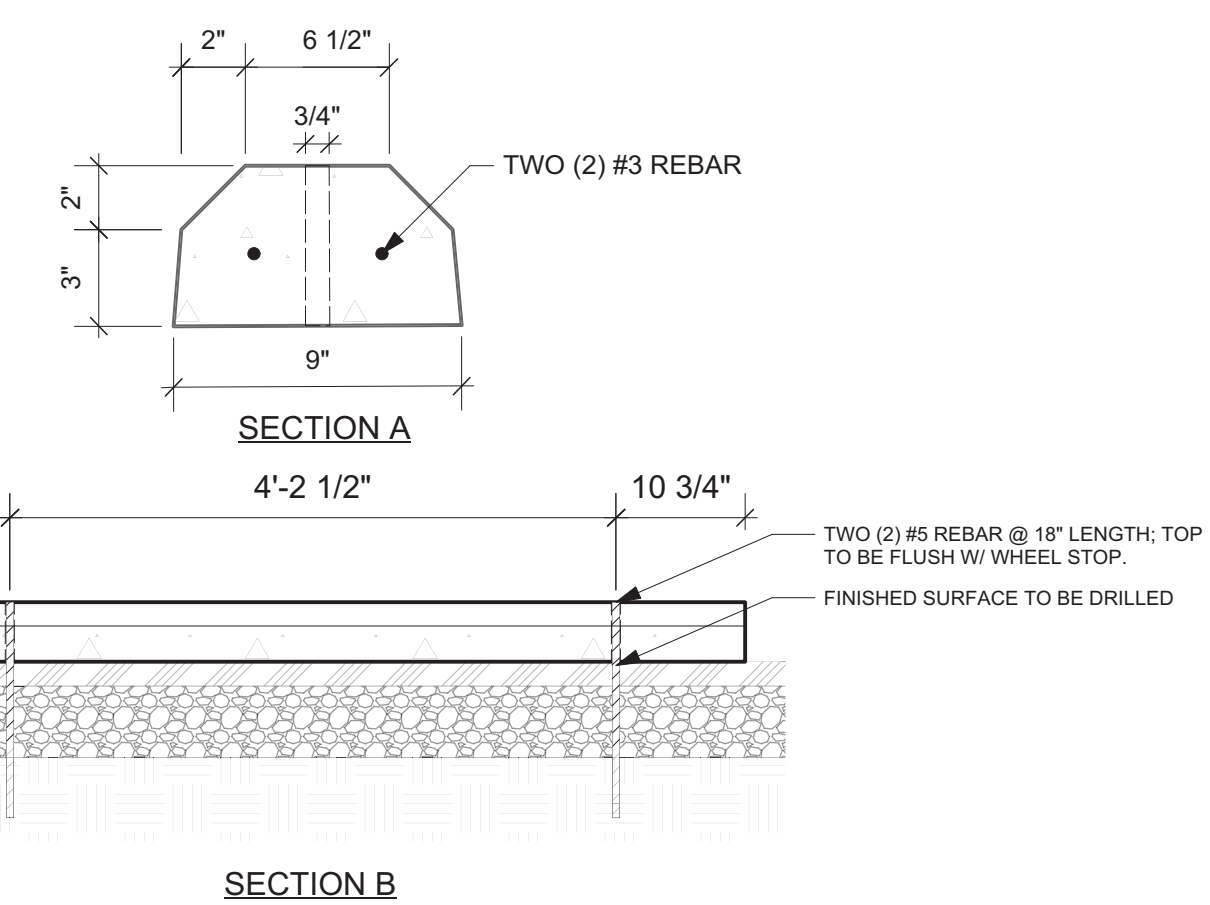
7 CRUSHER FINES TRAIL
Scale: 3/4" = 1'-0"



8 TREE WELL (FLUSH)
Scale: 3/4" = 1'-0"

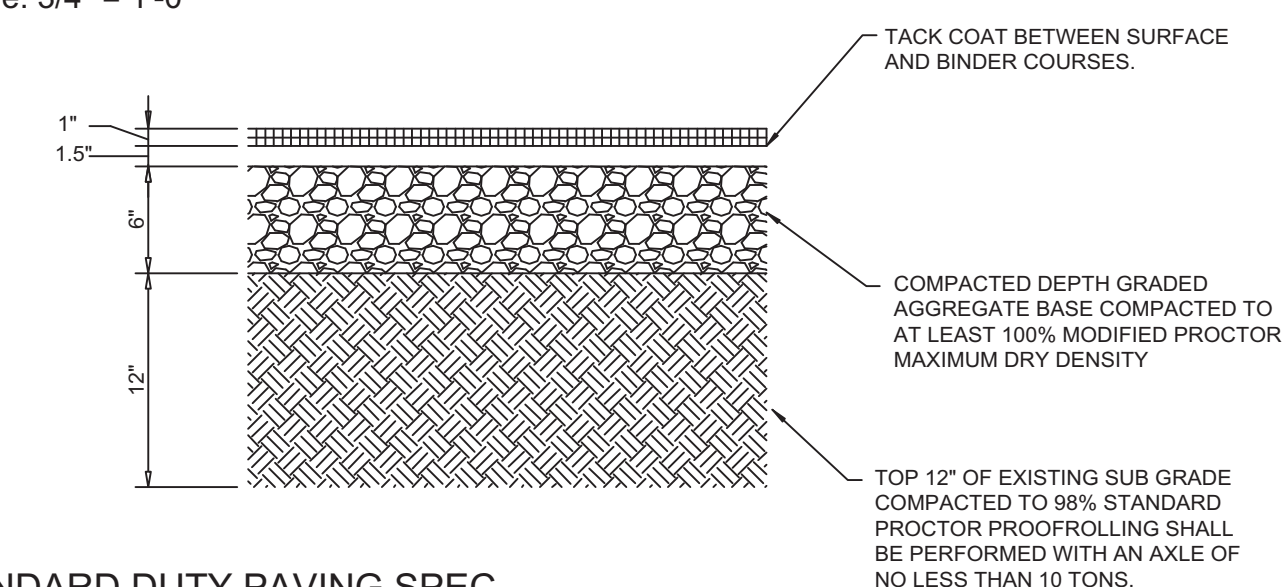


9 TREE WELL (CURBED)
Scale: 3/4" = 1'-0"



NOTES:
(1) CONCRETE TO BE 3,000 PSI OR GREATER.
(2) WHEEL STOPS TO BE SQUARE AND STRAIGHT.

10 PRECAST WHEEL STOP
Scale: 3/4" = 1'-0"



11 STANDARD DUTY PAVING SPEC
N.T.S.

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**Town of
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(276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
**DESTINATION BY DESIGN
studios**

Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102



REVISIONS DATE

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

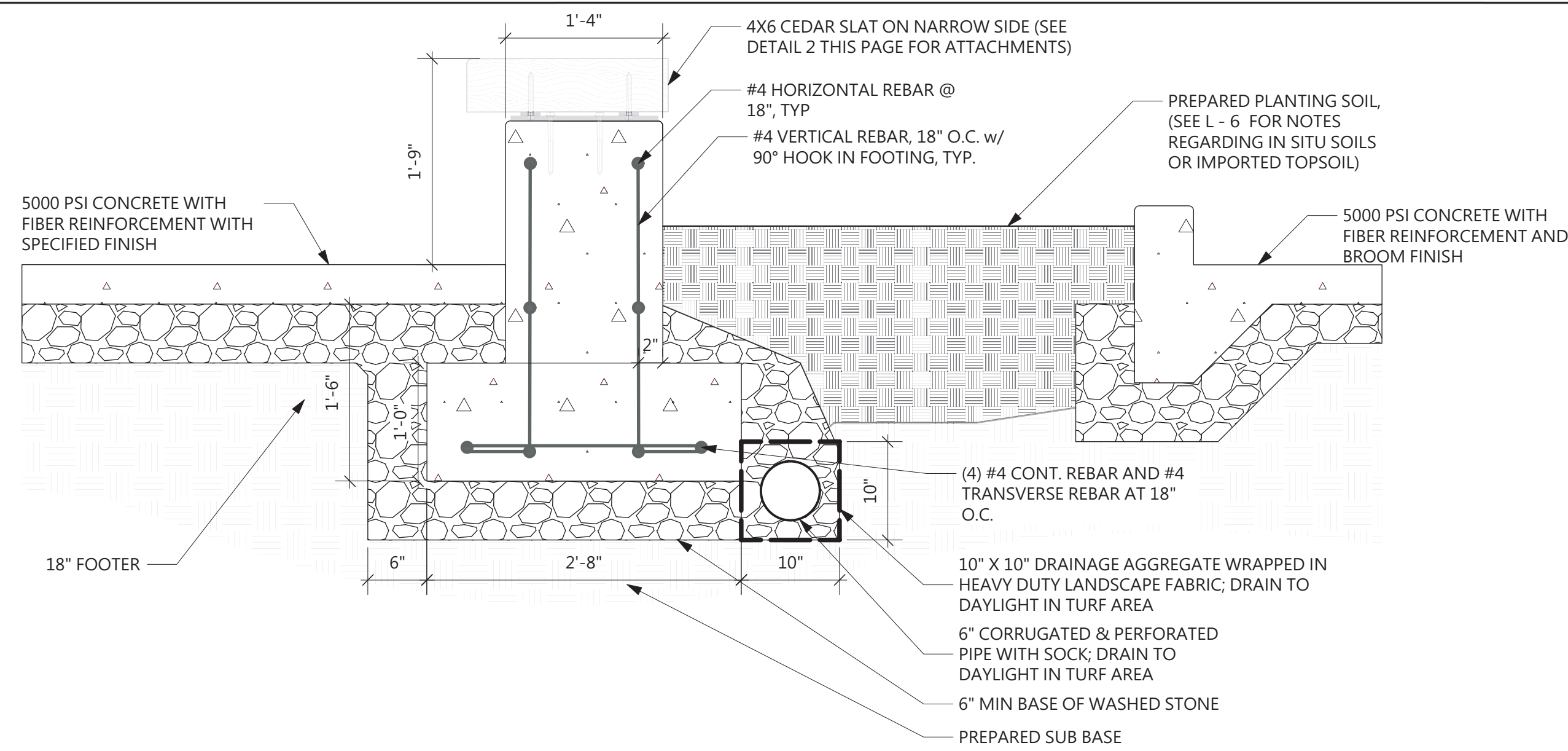
NOTES & CONSTRUCTION
DETAILS

SHEET NUMBER: C-2.3

SCALE: N.T.S.

FILE NUMBER: 9.26.16

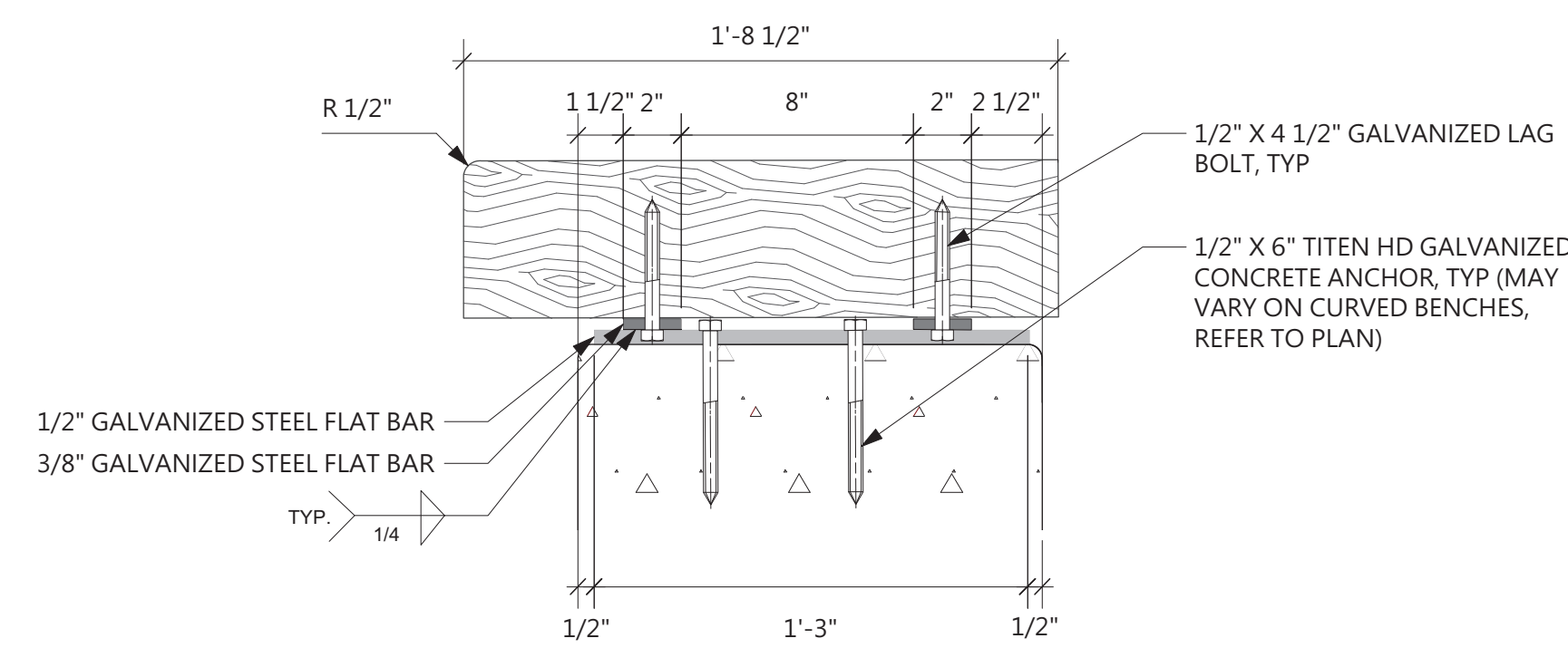




1

Seatwall and Planter Bed Section, TYP

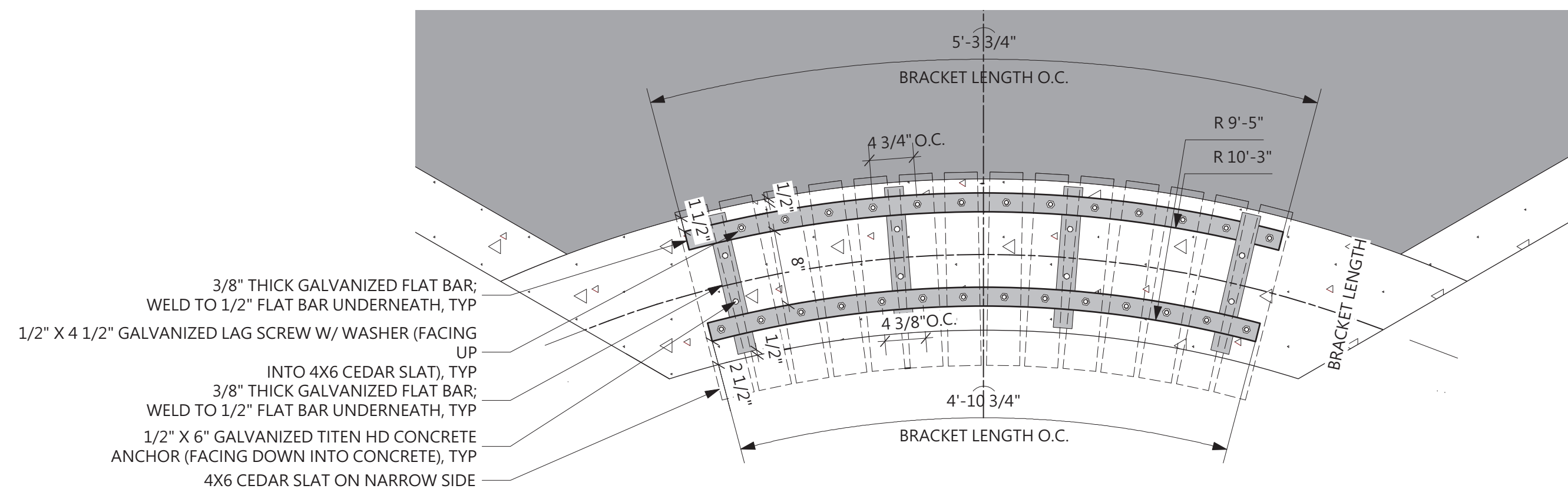
SCALE : 1" = 1' - 0"



2

Wood Bench Mounting Section, TYP

SCALE : 2" = 1' - 0"

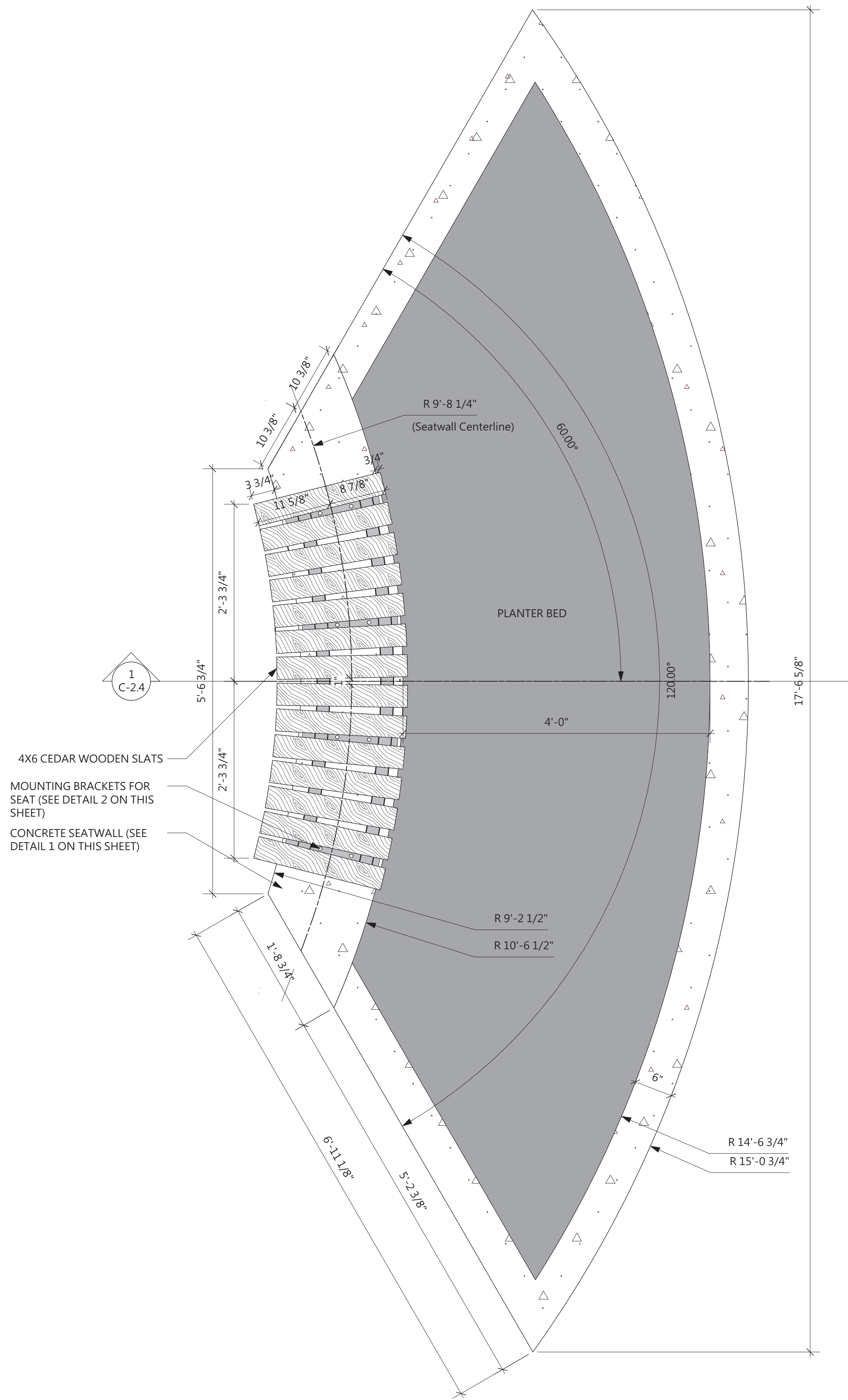


NOTES:
(1) BRACKET SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.

3

Mounting Brackets for Wooden Bench, TYP

SCALE : 1" = 1' - 0"



4

Bench and Planter Plan, TYP

SCALE : 1" = 1' - 0"

PROJECT:

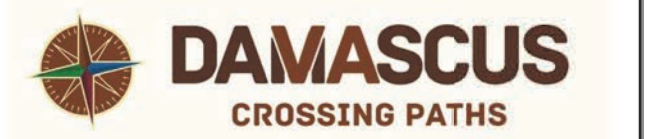
Laurel Creek Park and Trail

ADDRESS:

208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:

Town of Damascus, VA



CONTACT: Mr. Gavin N. Blevins, Town Manager
(276)783-5103, ext. 315

STRUCTURAL ENGINEER:



ARETE ENGINEERS, PLLC
7668 VALLEY BLVD.
BLOWING ROCK, NC 28607
828-434-0587
www.ARETEENGINEERS.com

SEAL:



REVISIONS DATE

PROJECT MANAGER: CAG

DRAWING BY: BM

JURISDICTION: WASHINGTON COUNTY

DATE: 11/22/19

SHEET TITLE:

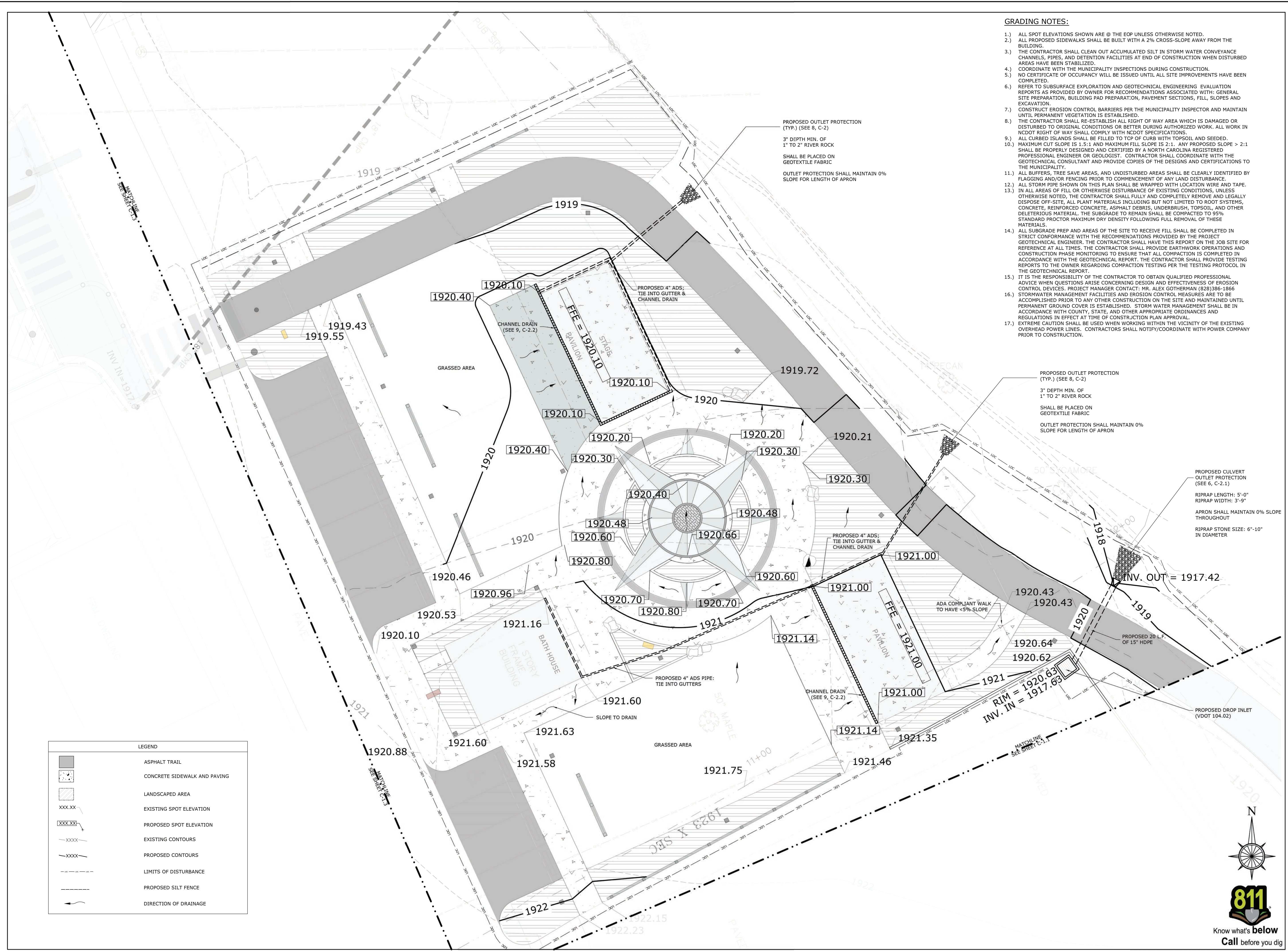
NOTES & CONSTRUCTION DETAILS

SHEET NUMBER: C-2.4

SCALE:

FILE NUMBER:





- GRADING NOTES:**
- 1.) ALL SPOT ELEVATIONS SHOWN ARE @ THE EOP UNLESS OTHERWISE NOTED.
 - 2.) ALL PROPOSED SIDEWALKS SHALL BE BUILT WITH A 2% CROSS-SLOPE AWAY FROM THE BUILDING.
 - 3.) THE CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM WATER CONVEYANCE CHANNELS, PIPES, AND DETENTION FACILITIES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
 - 4.) COORDINATE WITH THE MUNICIPALITY INSPECTIONS DURING CONSTRUCTION.
 - 5.) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
 - 6.) REFER TO SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION REPORTS AS PROVIDED BY OWNER FOR RECOMMENDATIONS ASSOCIATED WITH: GENERAL SITE PREPARATION, BUILDING PAD PREPARATION, PAVEMENT SECTIONS, FILL, SLOPES AND EXCAVATION.
 - 7.) CONSTRUCT EROSION CONTROL BARRIERS PER THE MUNICIPALITY INSPECTOR AND MAINTAIN UNTIL PERMANENT VEGETATION IS ESTABLISHED.
 - 8.) THE CONTRACTOR SHALL RE-ESTABLISH ALL RIGHT OF WAY AREA WHICH IS DAMAGED OR DISTURBED TO ORIGINAL CONDITIONS OR BETTER DURING AUTHORIZED WORK. ALL WORK IN NC DOT RIGHT OF WAY SHALL COMPLY WITH NC DOT SPECIFICATIONS.
 - 9.) ALL CURBED ISLANDS SHALL BE FILLED TO TOP OF CURB WITH TOPSOIL AND SEEDS.
 - 10.) MAXIMUM CUT SLOPE IS 1.5:1 AND MAXIMUM FILL SLOPE IS 2:1. ANY PROPOSED SLOPE > 2:1 SHALL BE PROPERLY DESIGNED AND CERTIFIED BY A NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER OR GEOLOGIST. CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL CONSULTANT AND PROVIDE COPIES OF THE DESIGNS AND CERTIFICATIONS TO THE MUNICIPALITY.
 - 11.) ALL BUFFERS, TREE SAVE AREAS, AND UNDISTURBED AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
 - 12.) ALL STORM PIPE SHOWN ON THIS PLAN SHALL BE WRAPPED WITH LOCATION WIRE AND TAPE.
 - 13.) IN ALL AREAS OF FILL OR OTHERWISE DISTURBANCE OF EXISTING CONDITIONS, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL FULLY AND COMPLETELY REMOVE AND LEGALLY DISPOSE OFF-SITE, ALL PLANT MATERIALS INCLUDING BUT NOT LIMITED TO ROOT SYSTEMS, CONCRETE, REINFORCED CONCRETE, ASPHALT DEBRIS, UNDERBRUSH, TOPSOIL, AND OTHER DELETERIOUS MATERIAL. THE SUBGRADE TO REMAIN SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY FOLLOWING FULL REMOVAL OF THESE MATERIALS.
 - 14.) ALL SUBGRADE PREP AND AREAS OF THE SITE TO RECEIVE FILL SHALL BE COMPLETED IN STRICT CONFORMANCE WITH THE RECOMMENDATIONS PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL HAVE THIS REPORT ON THE JOB SITE FOR REFERENCE AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE EARTHWORK OPERATIONS AND CONSTRUCTION PHASE MONITORING TO ENSURE THAT ALL COMPACTION IS COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL PROVIDE TESTING REPORTS TO THE OWNER REGARDING COMPACTION TESTING PER THE TESTING PROTOCOL IN THE GEOTECHNICAL REPORT.
 - 15.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. PROJECT MANAGER CONTACT: MR. ALEX GOTHERMAN (833)366-1866
 - 16.) STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
 - 17.) EXTREME CAUTION SHALL BE USED WHEN WORKING WITHIN THE VICINITY OF THE EXISTING OVERHEAD POWER LINES. CONTRACTORS SHALL NOTIFY/COORDINATE WITH POWER COMPANY PRIOR TO CONSTRUCTION.

LEGEND

	ASPHALT TRAIL
	CONCRETE SIDEWALK AND PAVING
	LANDSCAPED AREA
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CONTOURS
	PROPOSED CONTOURS
	LIMITS OF DISTURBANCE
	PROPOSED SILT FENCE
	DIRECTION OF DRAINAGE

PROJECT:
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LANDSCAPE ARCHITECT:

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11.22.19
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 11/22/19

REVISIONS	DATE
1 WACO COMMENTS	10/02/19
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PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

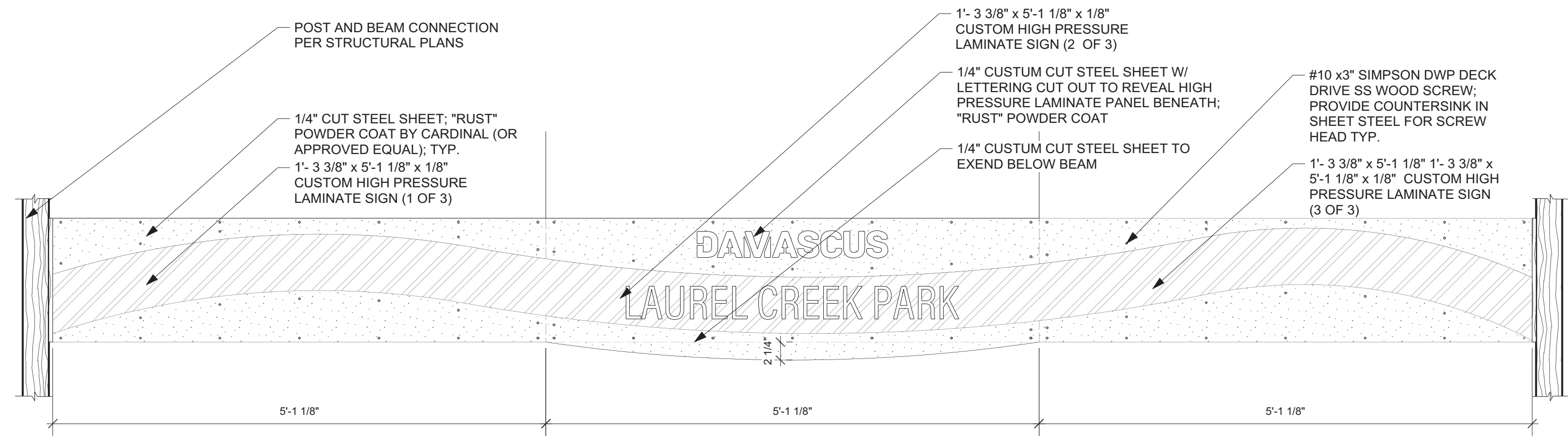
PAVING, GRADING, & DRAINAGE PLAN

SHEET NUMBER: C-3

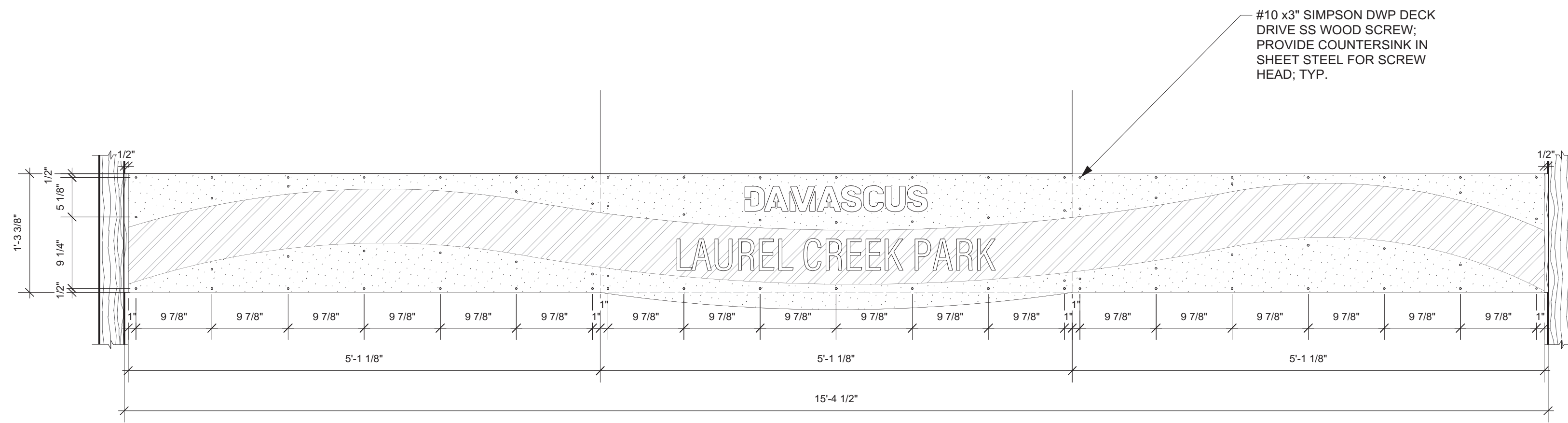
SCALE: 1" = 10'

FILE NUMBER: 9.26.16





1 STAGE SIGN - ELEVATION
Scale: 1" = 1'-0"



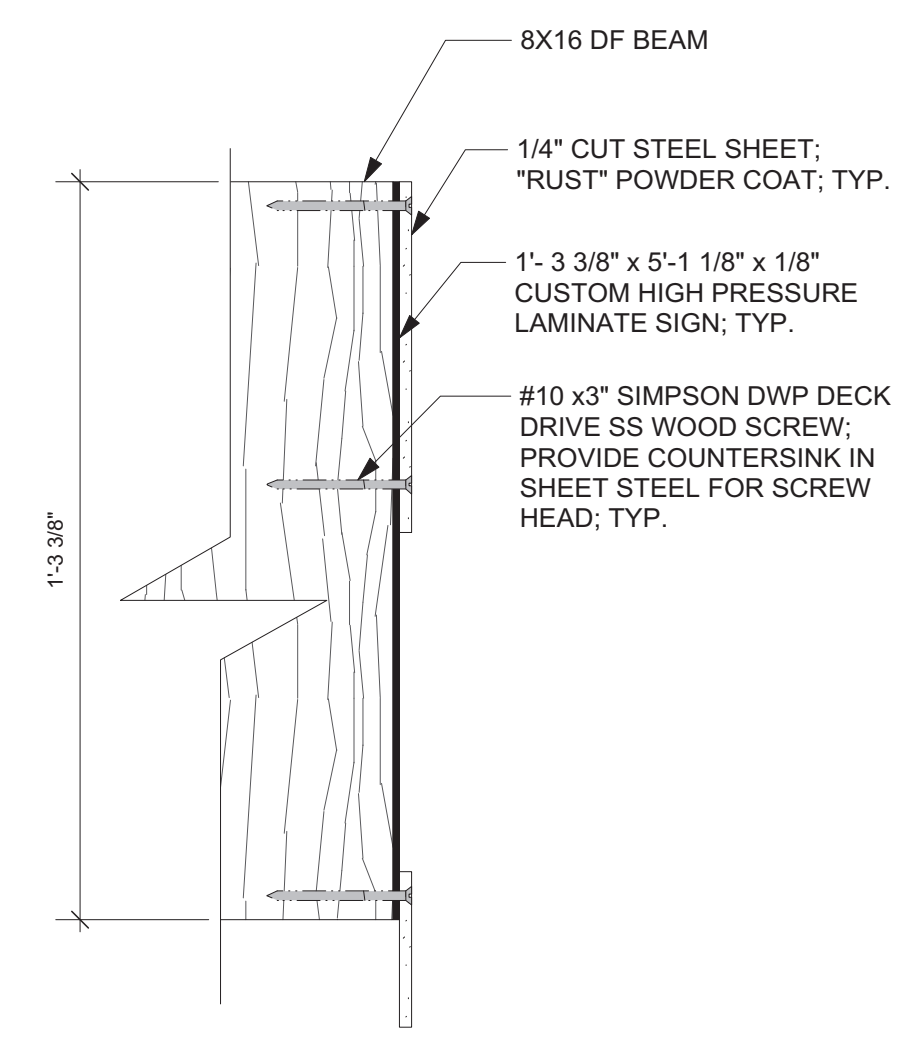
2 STAGE SIGN - HOLE SPACING
Scale: 1" = 1'-0"

NOTES:

(1) APPROVED "RUST" COLORED POWDER COATING SHALL BE OF THE FOLLOWING (OR EQUAL APPROVED BY LANDSCAPE ARCHITECT):
A. "RUST TEXTURE" BY CARDINAL (T091-BR47)

(2) ALL FASTENERS SHALL BE PAINTED SO AS TO BE INCONSPICUOUS. ALL EXPOSED HARDWARE SHALL BE TAMPER-RESISTANT, NON CORROSIVE FASTENERS.

(3) THE SIGN FABRICATOR/INSTALLER SHALL CHECK ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH FABRICATION. IF THERE ARE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK, THE SIGN FABRICATOR/INSTALLER SHALL OBTAIN A CLARIFICATION FROM THE LANDSCAPE ARCHITECT (DESTINATION BY DESIGN 828-386-1868) BEFORE PROCEEDING WITH THE WORK IN QUESTION.



3 STAGE SIGN - SECTION
Scale: 3" = 1'-0"

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STRUCTURAL ENGINEER:

Areté ENGINEERS

ARETE ENGINEERS, PLLC
7668 VALLEY BLVD.
BLOWING ROCK, NC 28607
828-434-0587
www.ARETEENGINEERS.com

SEAL:

REVISIONS	DATE

PROJECT MANAGER: CAG
DRAWING BY: BM
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

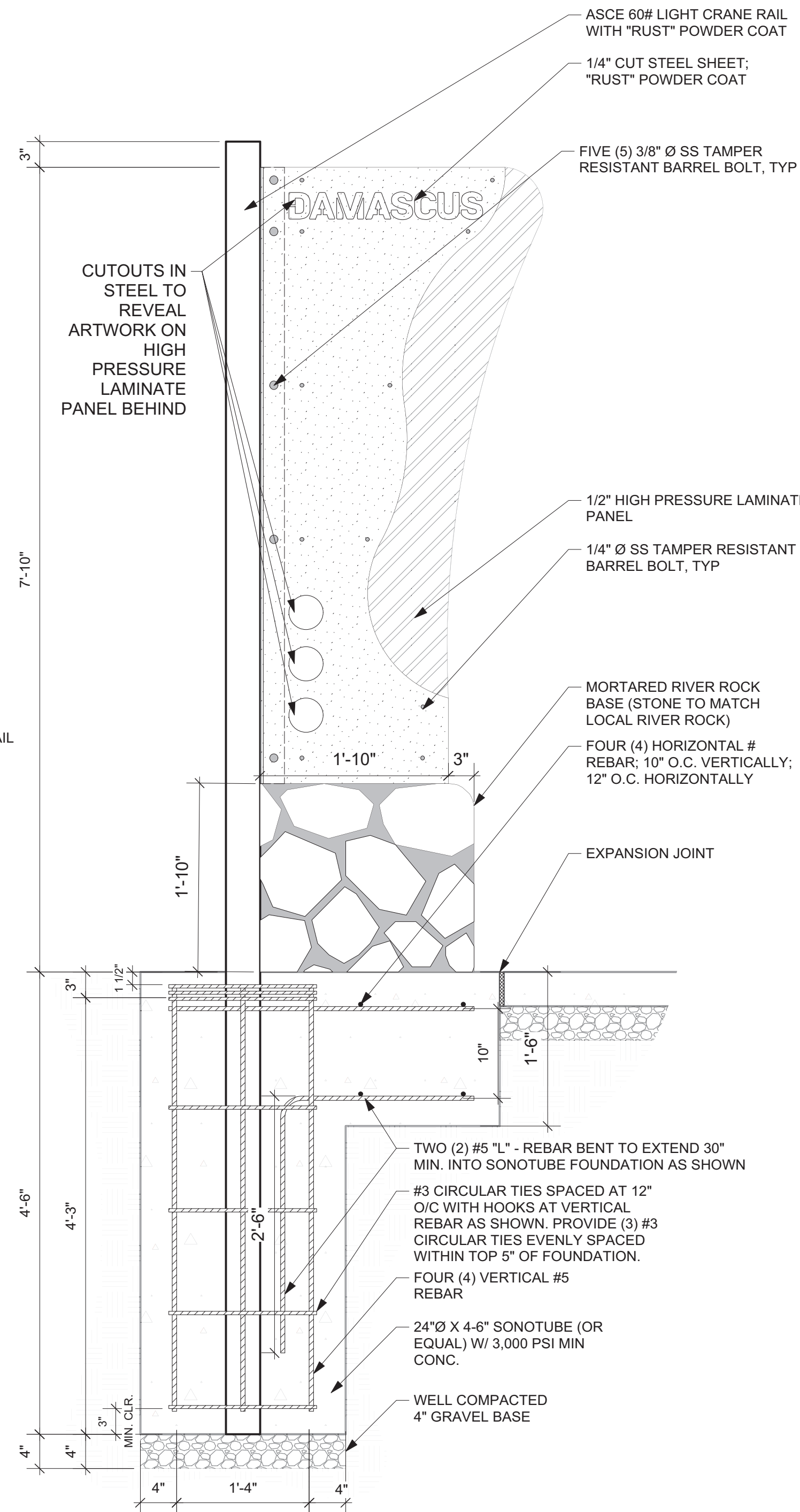
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SHEET NUMBER: G-1
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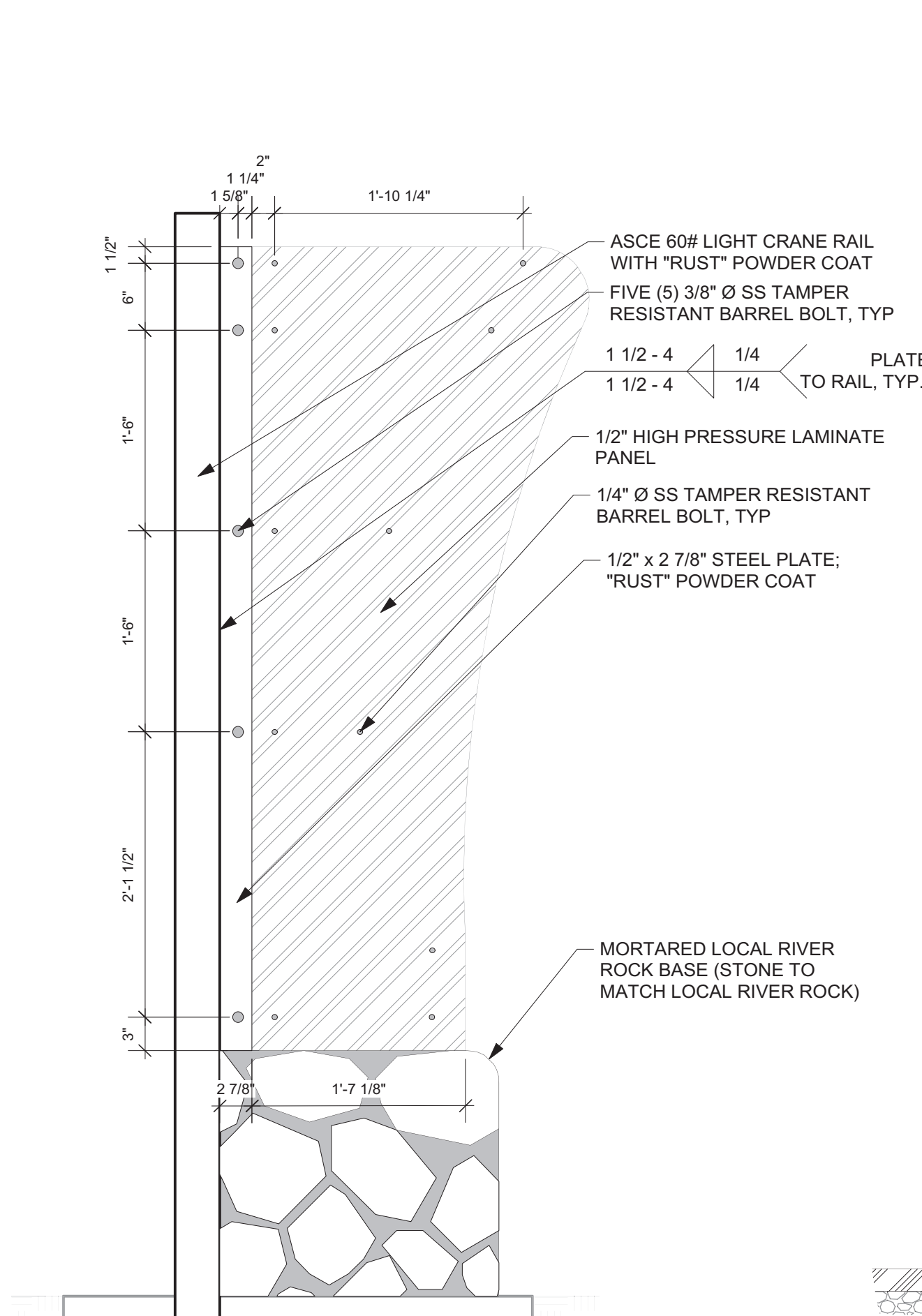


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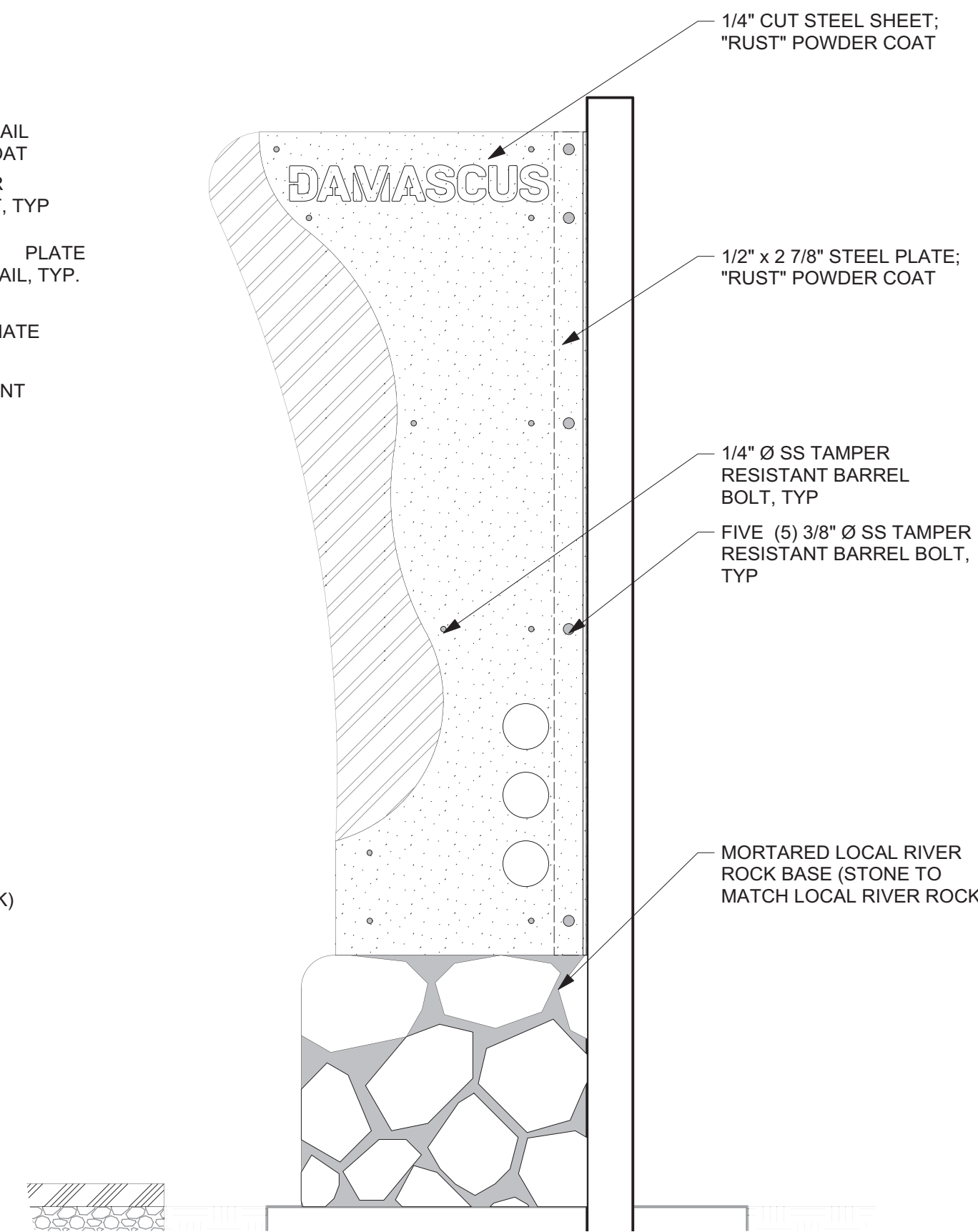
- (1) APPROVED "RUST" COLORED POWDER COATING SHALL BE OF THE FOLLOWING (OR EQUAL APPROVED BY LANDSCAPE ARCHITECT):
A. "RUST TEXTURE" BY CARDINAL (T091-BR47)
- (2) LIGHT CRANE RAIL (ASCE 60#) TO BE POWDER COATED TO 1' MIN BELOW GRADE; TREAT REMAINING FOR CORROSION.
- (3) CRANE RAIL SHALL BE HEATED AS REQUIRED FOR WELDING.
- (4) HIGH PRESSURE LAMINATE SIGN TO BE TWO SIDED.
- (5) ALL FASTENERS SHALL BE PAINTED SO AS TO BE INCONSPICUOUS. ALL EXPOSED HARDWARE SHALL BE TAMPER-RESISTANT, NON CORROSIVE FASTENERS.
- (6) FINAL PANEL ASSEMBLY SHALL BE INCLUDED IN SHOP DRAWINGS FOR REVIEW BY DESTINATION BY DESIGN (828-386-1866).
- (7) THE SIGN FABRICATOR/INSTALLER SHALL CHECK ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH FABRICATION. IF THERE ARE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK, THE SIGN FABRICATOR/INSTALLER SHALL OBTAIN A CLARIFICATION FROM THE LANDSCAPE ARCHITECT (DESTINATION BY DESIGN 828-386-1866) BEFORE PROCEEDING WITH THE WORK IN QUESTION.



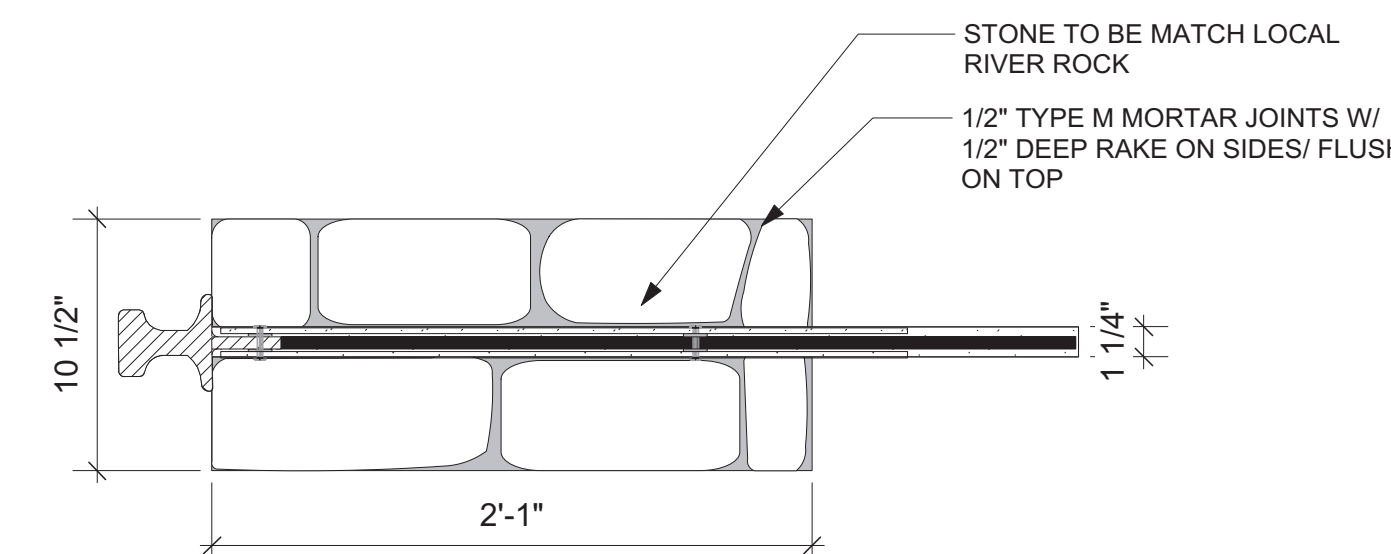
2 GATEWAY ELEVATION AND FOUNDATION SECTION
Scale: 1" = 1'-0"



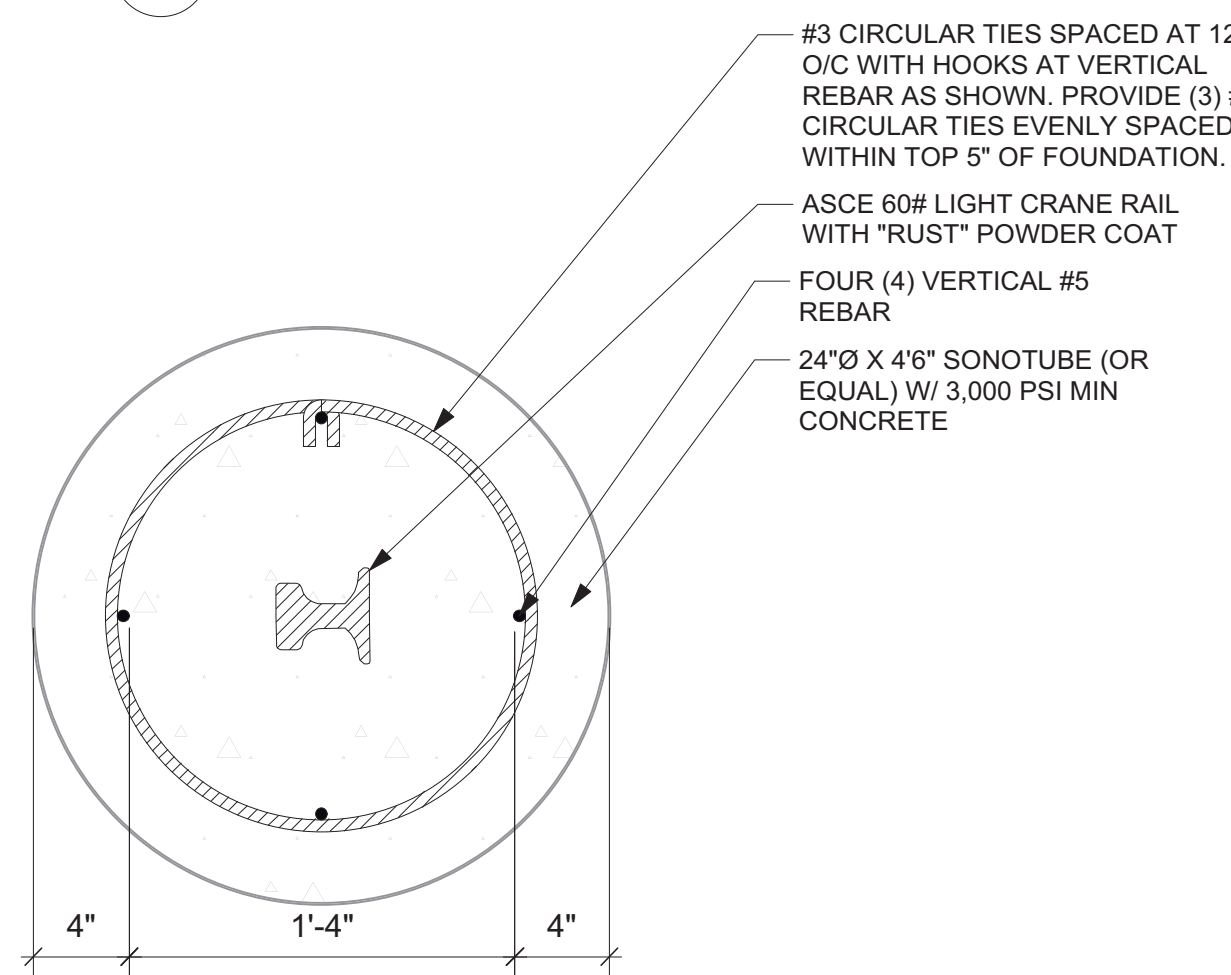
3 GATEWAY SIGN ASSEMBLY (MIDDLE)
Scale: 1" = 1'-0"



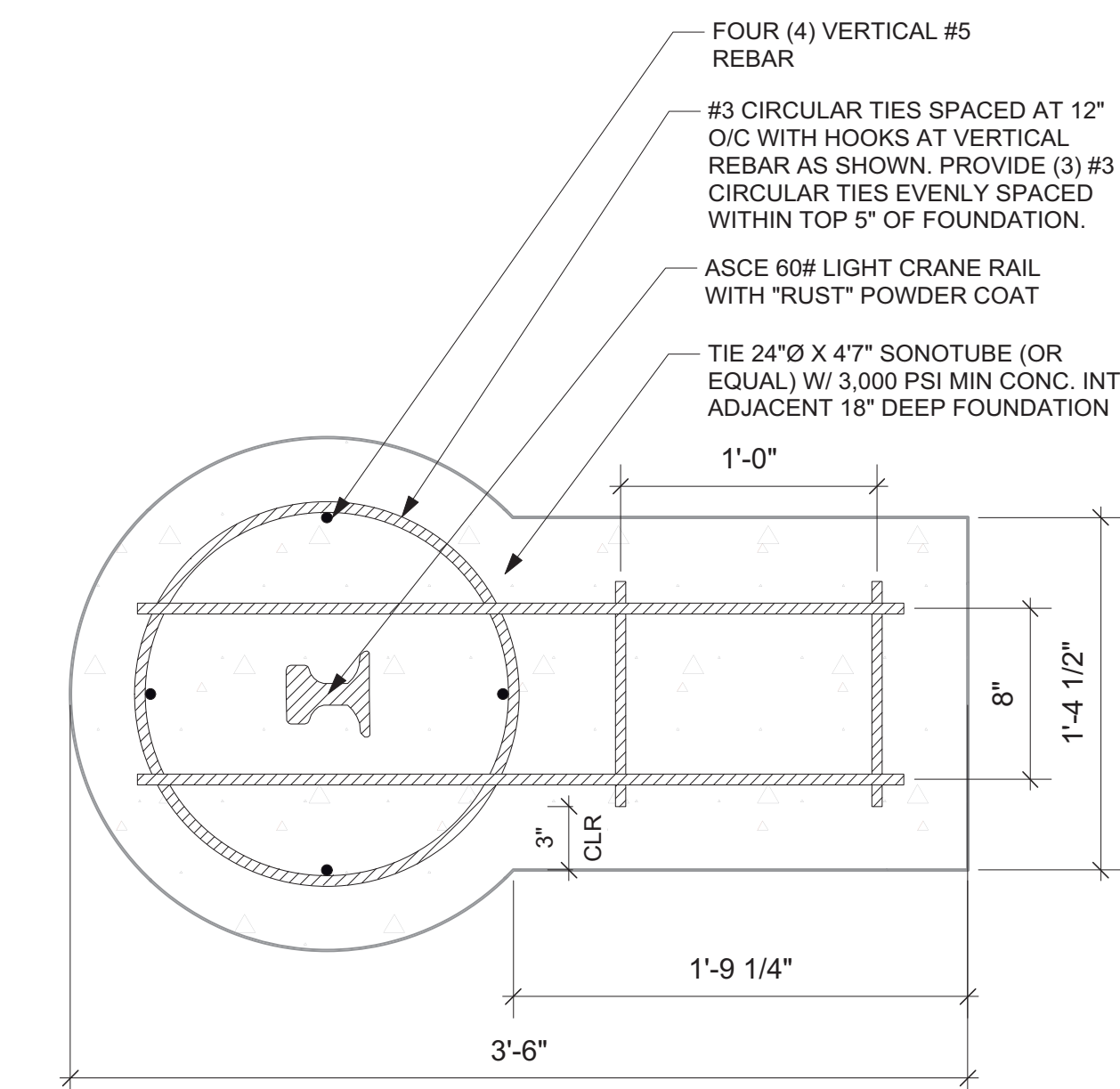
4 GATEWAY REAR ELEVATION
Scale: 1" = 1'-0"



5 PLAN VIEW
Scale: 1 1/2" = 1'-0"



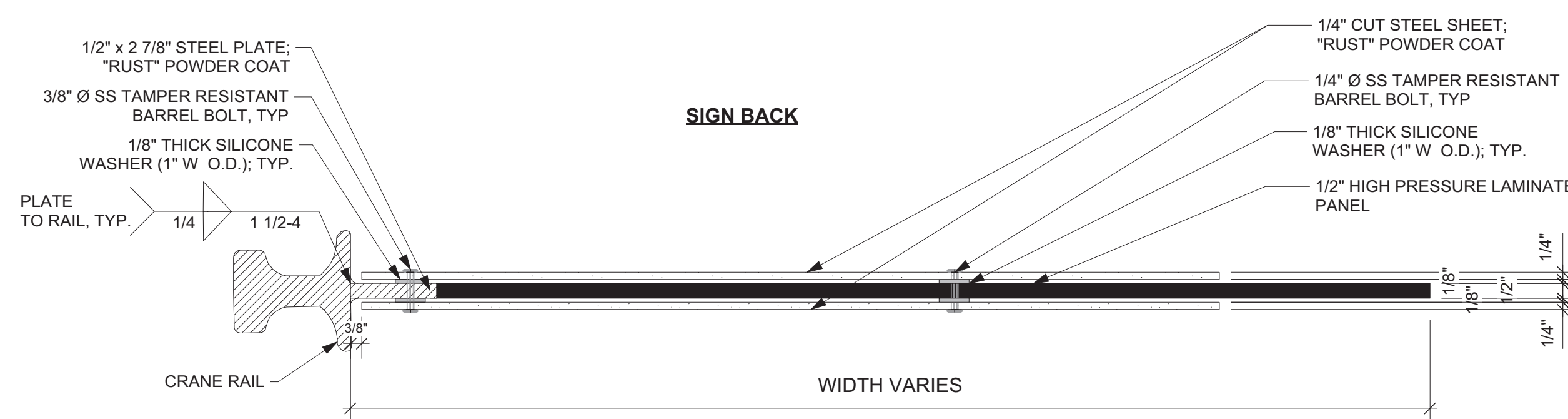
7 FOUNDATION SECTION (FOR POST ANCHORAGE)
Scale: 1 1/2" = 1'-0"



8 FOUNDATION SECTION (FOR STONESTONE PAD)
Scale: 1 1/2" = 1'-0"

NOTES:
(1) ARTIST IMAGE TO CONVEY GENERAL DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.

1 ILLUSTRATIVE ELEVATION
N.T.S.



NOTES:
(1) CRANE RAIL SHALL BE HEATED AS REQUIRED FOR WELDING.

6 PANEL ASSEMBLY
Scale: 3" = 1'-0"

PROJECT:

Laurel Creek Park and Trail

ADDRESS:

208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:

Town of Damascus, VA



Mr. Gavin N. Blevins, Town Manager
(276)783-5103, ext. 315

CONTACT:

STRUCTURAL ENGINEER:



ARETE ENGINEERS, PLLC
7668 VALLEY BLVD.
BLOWING ROCK, NC 28607
828-434-0587
www.ARETEENGINEERS.com

SEAL:



REVISIONS **DATE**

REVISIONS	DATE

PROJECT MANAGER: CAG
DRAWING BY: BM
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

WAYFINDING GATEWAY

SHEET NUMBER: G-2

SCALE: VARIES

FILE NUMBER: 9.26.16



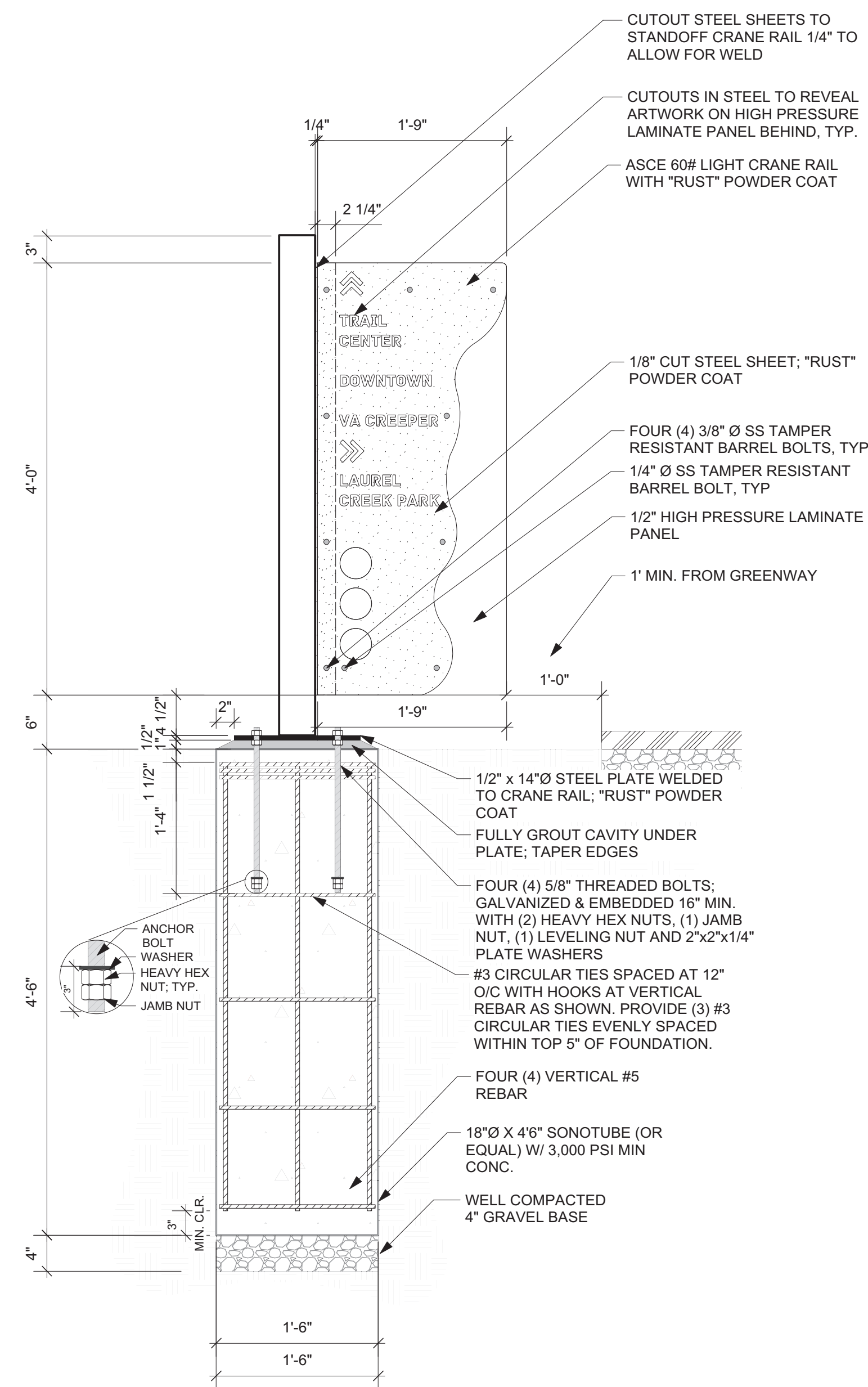
NOTES:

- (1) APPROVED "RUST" COLORED POWDER COATING SHALL BE OF THE FOLLOWING (OR EQUAL APPROVED BY LANDSCAPE ARCHITECT):
A. "RUST TEXTURE" BY CARDINAL (T091-BR47)
- (2) HIGH PRESSURE LAMINATE SIGN TO BE TWO SIDED.
- (3) ALL FASTENERS SHALL BE PAINTED SO AS TO BE INCONSPICUOUS. ALL EXPOSED HARDWARE SHALL BE TAMPER-RESISTANT, NON CORROSIVE FASTENERS.
- (4) FINAL PANEL ASSEMBLY SHALL BE INCLUDED IN SHOP DRAWINGS FOR REVIEW BY DESTINATION BY DESIGN (828-386-1866).
- (5) THE SIGN FABRICATOR/INSTALLER SHALL CHECK ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH FABRICATION. IF THERE ARE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK, THE SIGN FABRICATOR/INSTALLER SHALL OBTAIN A CLARIFICATION FROM THE LANDSCAPE ARCHITECT (DESTINATION BY DESIGN 828-386-1866) BEFORE PROCEEDING WITH THE WORK IN QUESTION.

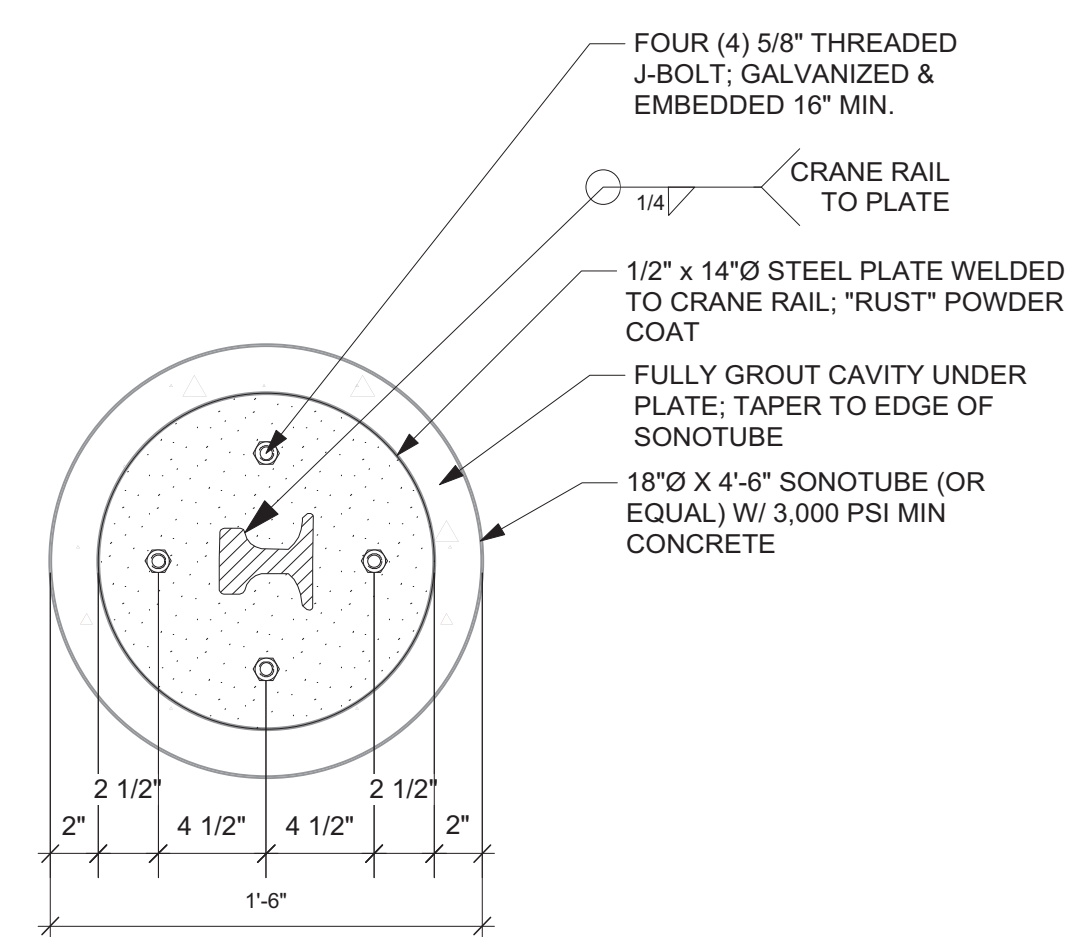


NOTES:
(1) ARTIST IMAGE TO CONVEY GENERAL DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.

1 ILLUSTRATIVE ELEVATION
Scale: 1" = 1'-0"

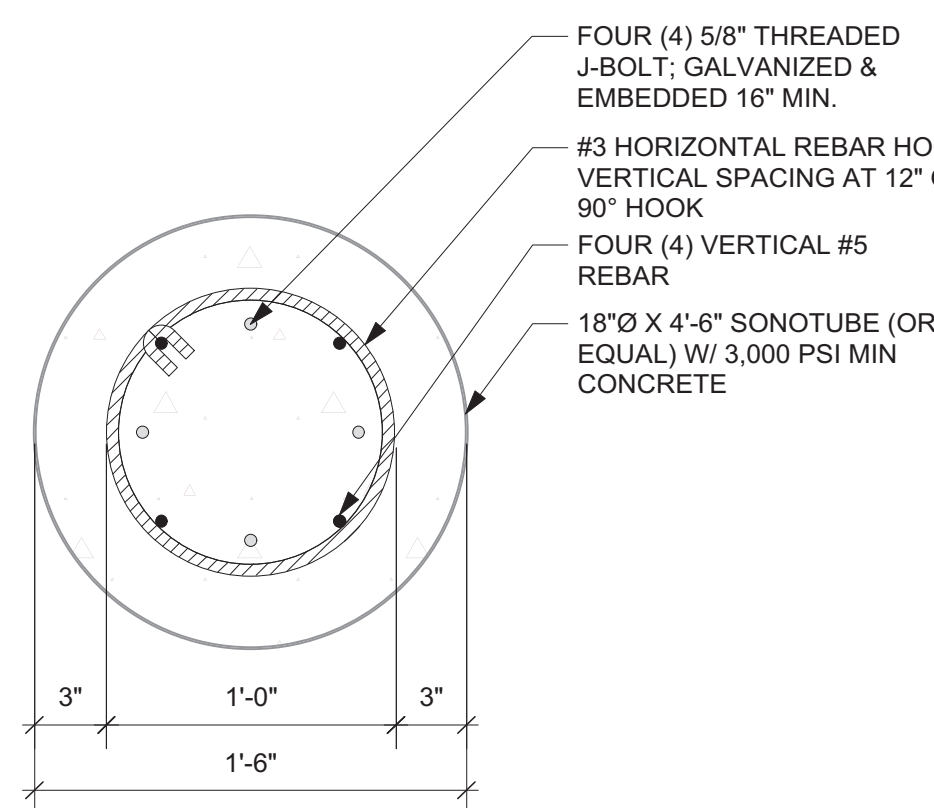


2 WAYFINDING SIGN ASSEMBLY
Scale: 1" = 1'-0"

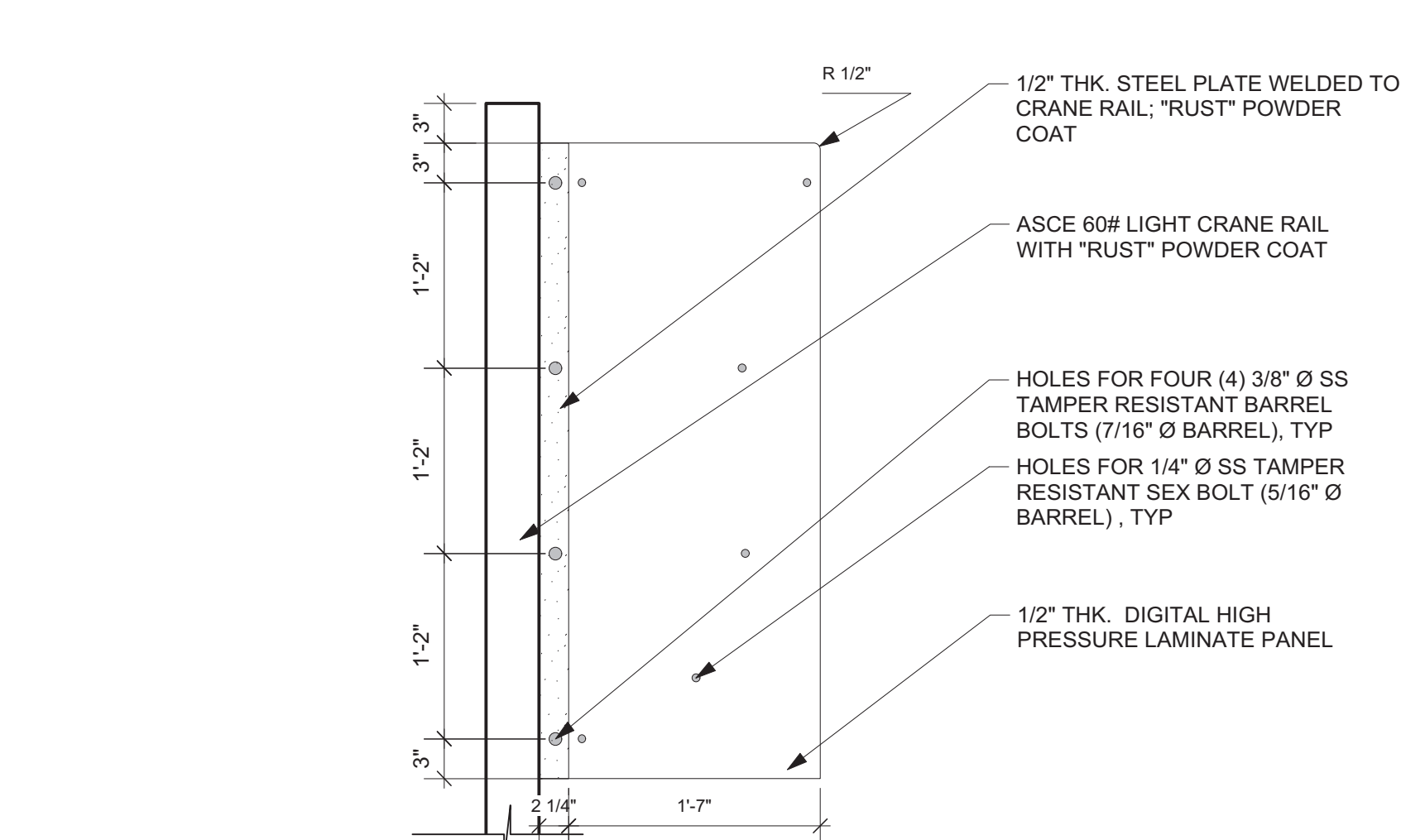


NOTES:
(1) CRANE RAIL SHALL BE HEATED AS REQUIRED FOR WELDING.

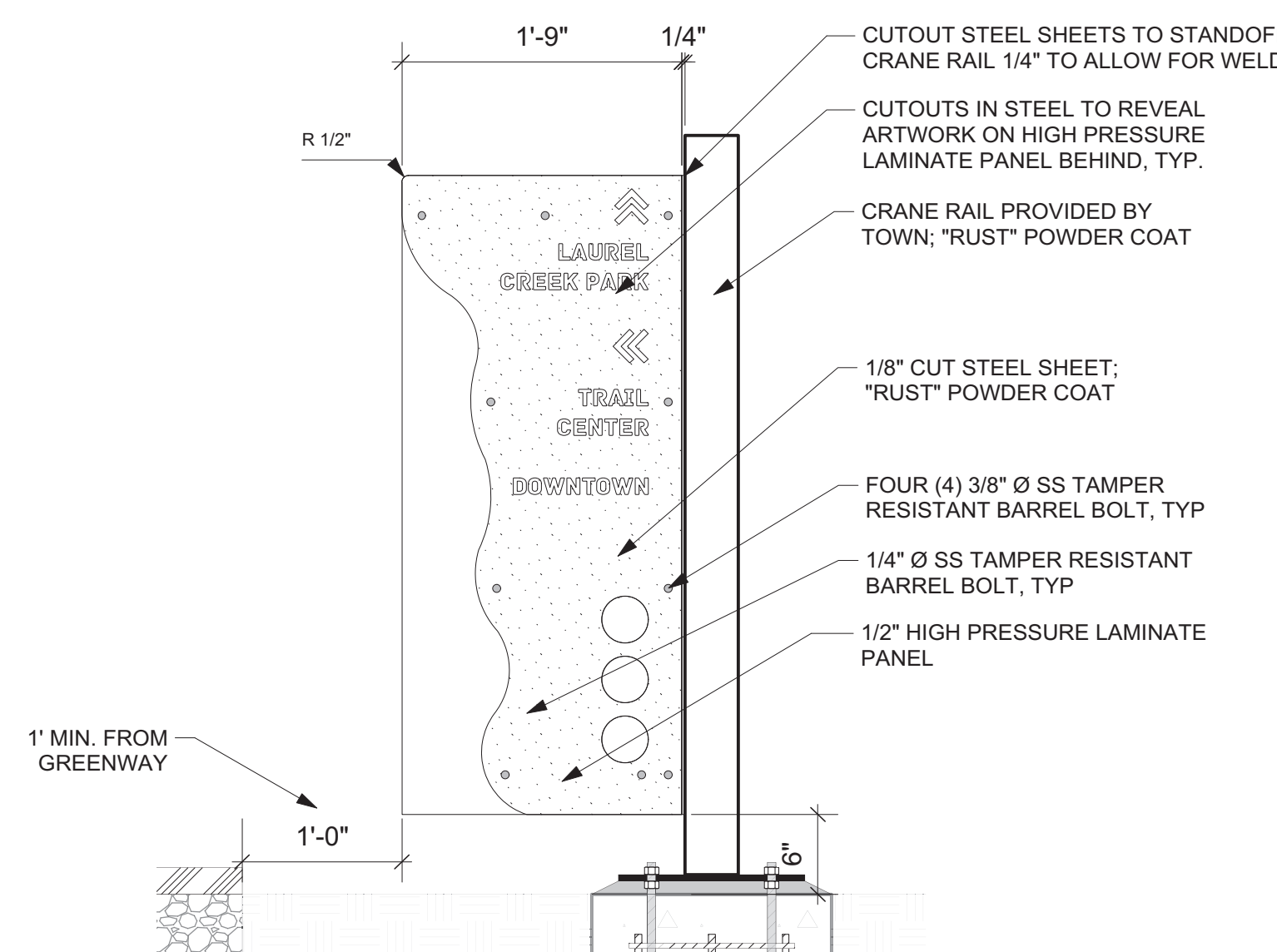
5 WAYFINDING BASE PLATE - PLAN
Scale: 1 1/2" = 1'-0"



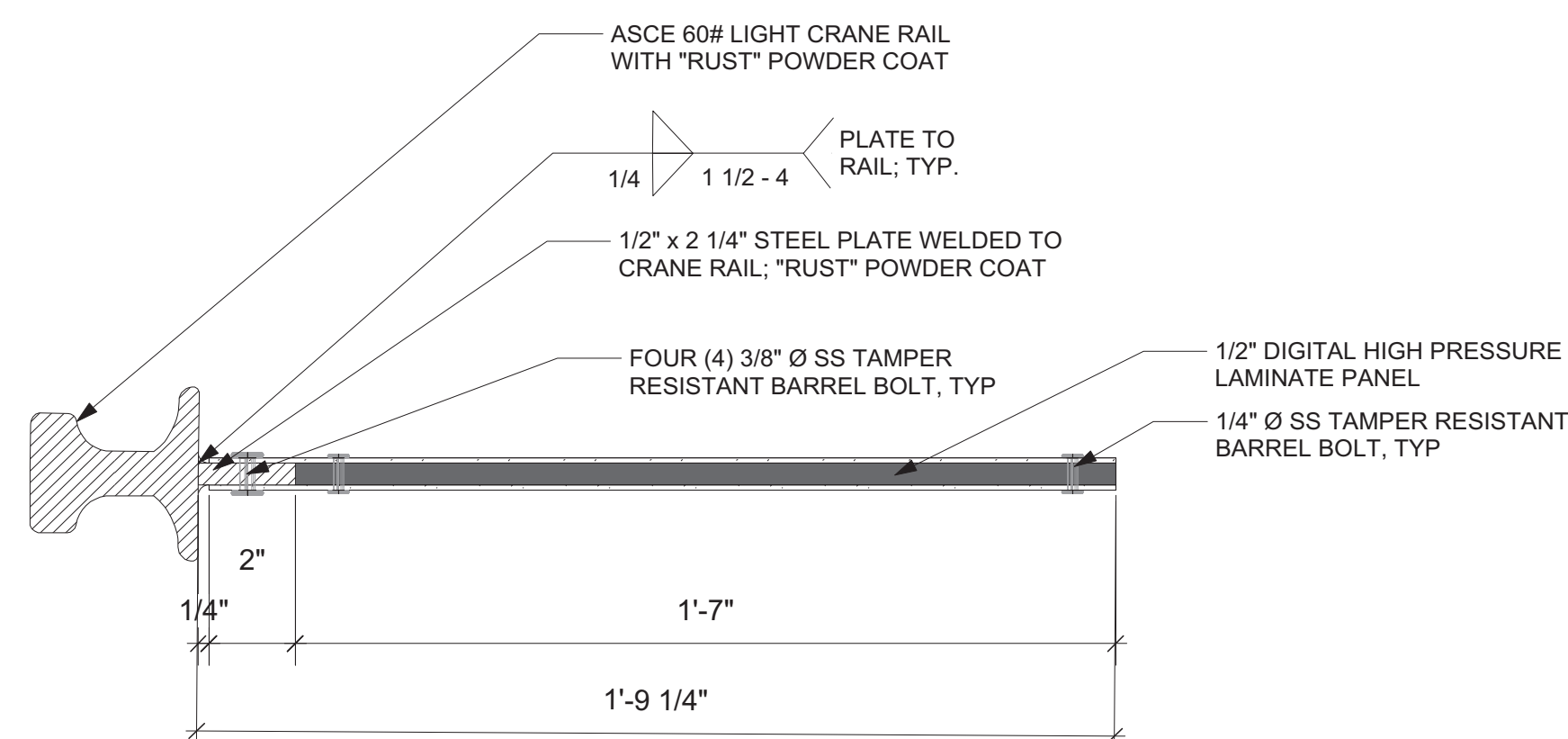
6 FOOTER SECTION (FOR BASE PLATE ANCHORAGE)
Scale: 1 1/2" = 1'-0"



3 WAYFINDING SIGN ASSEMBLY (MIDDLE)
Scale: 1" = 1'-0"



4 WAYFINDING SIGN ASSEMBLY (BACK)
Scale: 1" = 1'-0"



NOTES:
(1) CRANE RAIL SHALL BE HEATED AS REQUIRED FOR WELDING.

7 PANEL ASSEMBLY
Scale: 3" = 1'-0"

PROJECT:
**Laurel Creek
Park and Trail**

ADDRESS:
208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:
**Town of
Damascus, VA**

DAMASCUS
CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
(276)783-5103, ext. 315

STRUCTURAL ENGINEER:
Areté
ENGINEERS

ARETE ENGINEERS, PLLC
7668 VALLEY BLVD.
BLOWING ROCK, NC 28607
828-434-0587
www.ARETEENGINEERS.com

SEAL:
COMMONWEALTH OF VIRGINIA
BRIAN MULLIN
Lic. No. 0402053096
11-22-2019
PROFESSIONAL ENGINEER

REVISIONS	DATE

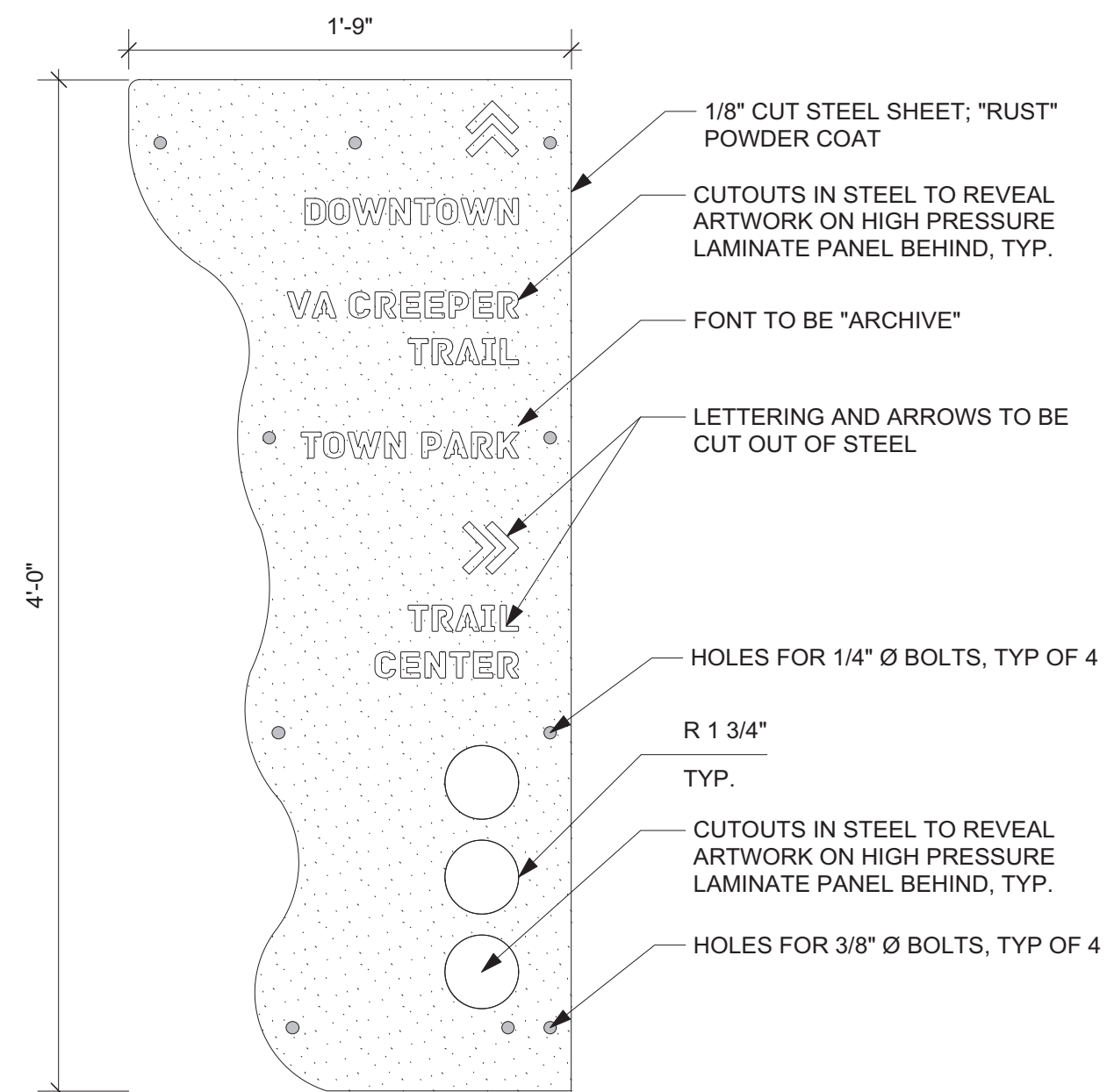
PROJECT MANAGER: CAG
DRAWING BY: BM
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

WAYFINDING SIGNAGE
SHEET NUMBER: G-3.1
SCALE: VARIES
FILE NUMBER:



NOTES:

- (1) APPROVED "RUST" COLORED POWDER COATING SHALL BE OF THE FOLLOWING (OR EQUAL APPROVED BY LANDSCAPE ARCHITECT):
A. "RUST TEXTURE" BY CARDINAL (T091-BR47)
- (2) DESIGNER (DESTINATION BY DESIGN (828-386-1866)) TO PROVIDE FABRICATOR WITH ADOBE ILLUSTRATOR FILES FOR HIGH PRESSURE LAMINATE SIGNS AND .DWG FILES FOR STEEL CUTOUTS. THESE FILES ARE FOR DESIGN INTENT ONLY AND MAY REQUIRE ADDITIONAL MODIFICATION FOR FABRICATION.
- (3) ALL TYPE SHALL BE SET EXACTLY AS SPECIFIED. THE FABRICATOR SHOULD BE AWARE THAT DIFFERENT VERSIONS OF TYPESETTING EQUIPMENT MAY NOT SATISFACTORILY MATCH SPECIFIED TYPEFACES AND IN SUCH INSTANCES WILL NOT BE ACCEPTABLE.
- (4) FINAL PANEL ASSEMBLY SHALL BE INCLUDED IN SHOP DRAWINGS FOR REVIEW BY DESTINATION BY DESIGN (828-386-1866).
- (5) THE SIGN FABRICATOR/INSTALLER SHALL CHECK ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH FABRICATION. IF THERE ARE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK, THE SIGN FABRICATOR/INSTALLER SHALL OBTAIN A CLARIFICATION FROM THE LANDSCAPE ARCHITECT (DESTINATION BY DESIGN 828-386-1866) BEFORE PROCEEDING WITH THE WORK IN QUESTION.



1 WAYFINDING STEEL PANELS - OVERVIEW
Scale: 1 1/2" = 1'-0"

SIGN 1



FRONT

SIGN 2



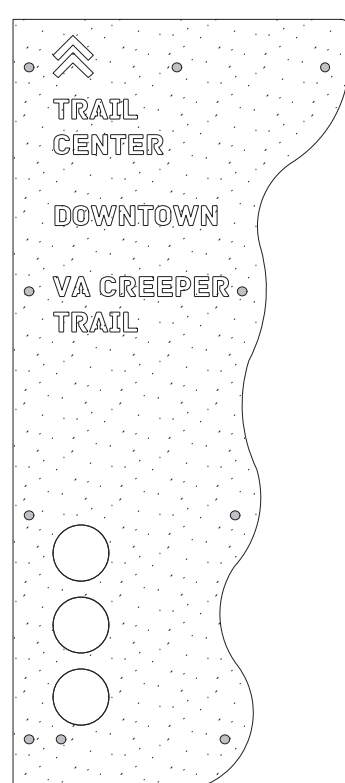
FRONT

SIGN 3



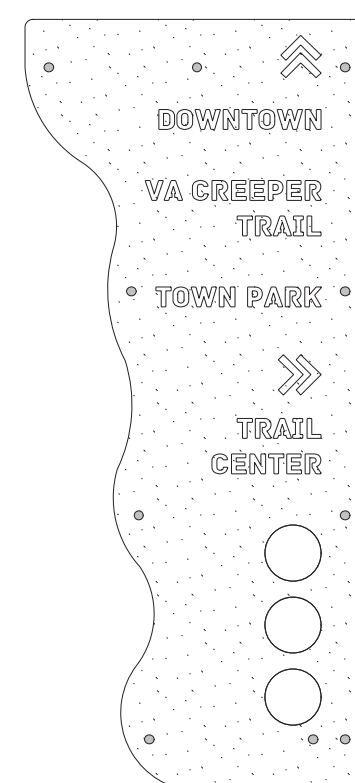
FRONT

SIGN 4
(SEE NOTE)



FRONT

SIGN 5



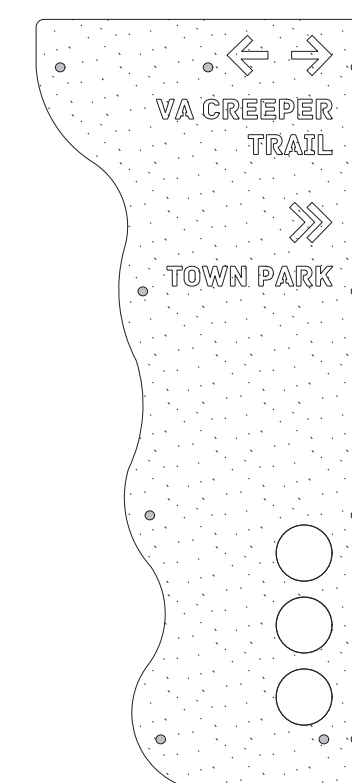
FRONT

SIGN 6

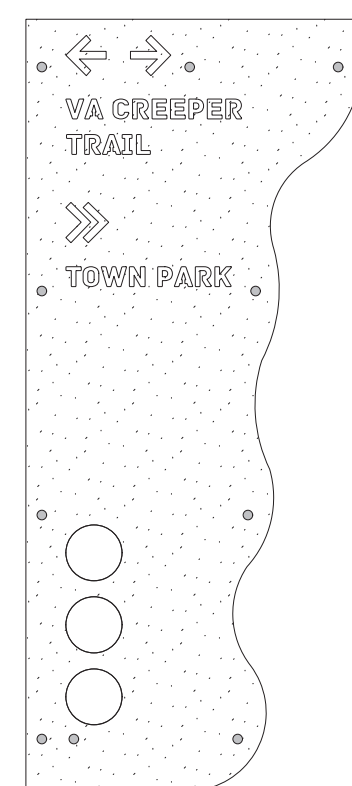


FRONT

SIGN 7



FRONT



BACK



BACK



BACK



BACK



BACK



BACK



BACK

NOTES:

- (1) ALL SIGNS TO BE LOCATED TRAIL RIGHT FOLLOWING IN NUMERICAL ORDER FROM 1 TO 7 WITH THE EXCEPTION OF SIGN #4, WHICH IS LOCATED TRAIL LEFT.

2 WAYFINDING STEEL PANELS
Scale: 1" = 1'-0"

PROJECT:

Laurel Creek
Park and Trail

ADDRESS:

208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:

Town of
Damascus, VA



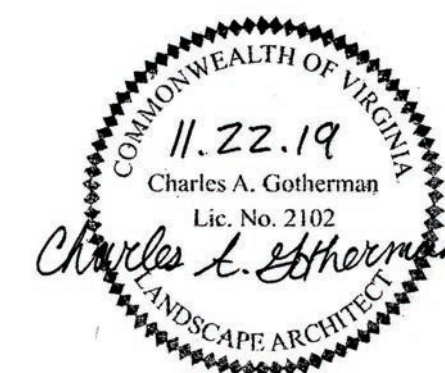
Mr. Gavin N. Blevins, Town Manager
CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:



Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102



11/22/19

REVISIONS **DATE**

REVISIONS	DATE

PROJECT MANAGER: CAG

DRAWING BY: DAD

JURISDICTION: WASHINGTON COUNTY

DATE: _____

SHEET TITLE: _____

WAYFINDING DESTINATION
PANELS

SHEET NUMBER: G-3.2

SCALE: N.T.S

FILE NUMBER: _____

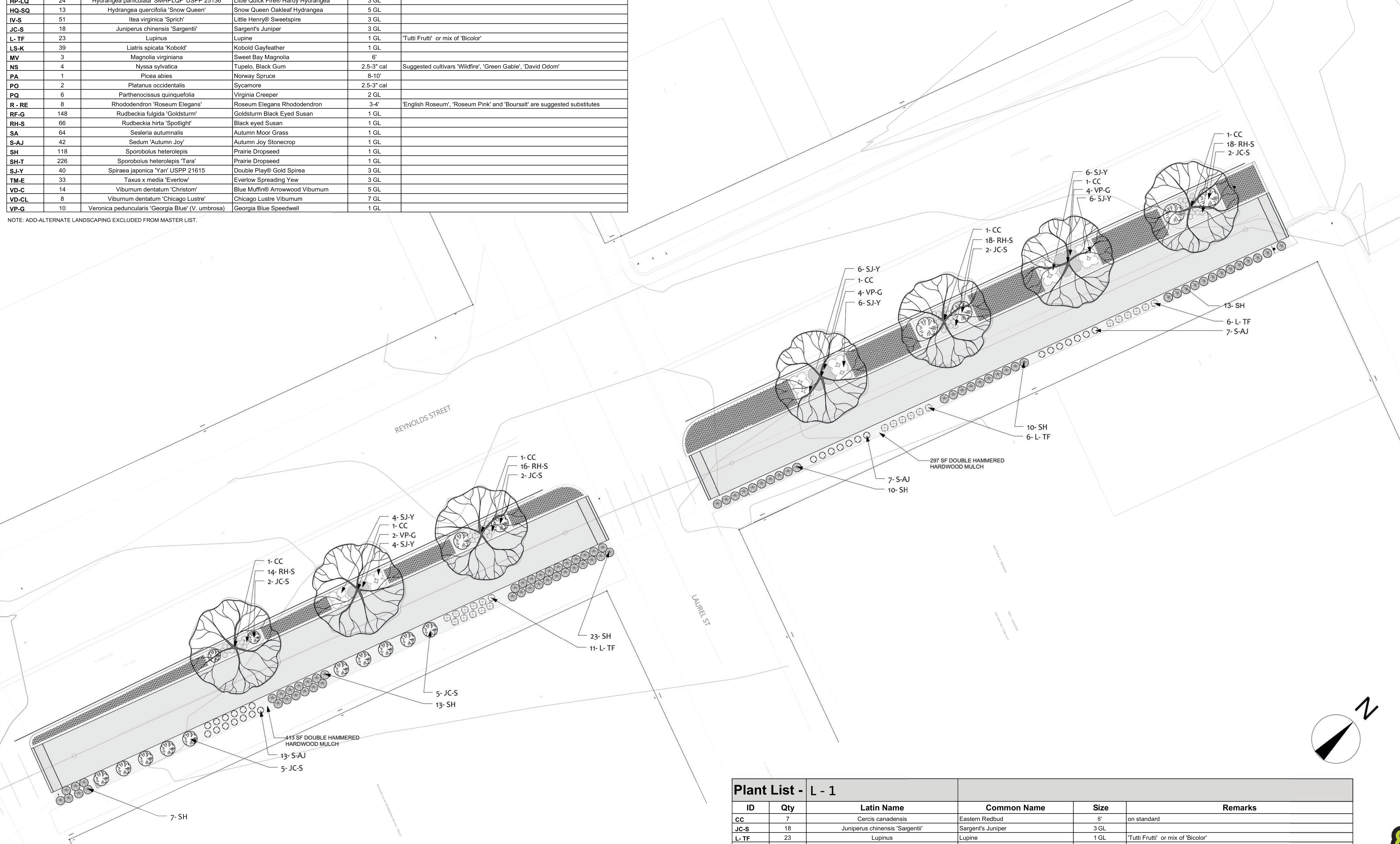


Know what's below
Call before you dig

ID	Qty	Latin Name	Common Name	Size	Remarks
AC	4	Amelanchier canadensis	Shadblow Serviceberry	6'	Multi-stem, stand alone specimen quality Suggested substitute: Amelanchier 'Princess Diana'
AC-V	67	Astilbe chinensis 'Visions'	Visions Astilbe	1 GL	
AG	31	Andropogon gerardii 'Red October'	Red October Big Bluestem	1 GL	
AP	25	Anemone x 'Pamina'	Pamina Japanese Anemone	1 GL	
BMJ-G	26	Buxus microphylla japonica 'Grogem'	Baby Gem Boxwood	3 GL	
B-PS	24	Baptisia hybrid	False Indigo	1 GL	
CC	12	Cercis canadensis	Eastern Redbud	6'	on standard
CF - AS	1	Cornus florida 'Appalachian Spring'	Appalachian Spring Dogwood	15 GL/4'	suggested substitute: Cornus 'Jean's Appalachian Snow'
CV	1	Chionanthus virginicus	White Fringe Tree	6'	Multi-stem
CVM	31	Coreopsis verticillata 'Moonbeam'	Moonbeam Threadleaf Tickseed	1 GL	
DP	25	Dennstaedtia punctilobula	Hay-scented Fern	QT	
HG	10	Hosta x 'Guacamole'	Guacamole Plantain Lily	1 GL	
HP-LQ	24	Hydrangea paniculata 'SMHPLOF' USPP 25136	Little Quick Fire® Hardy Hydrangea	3 GL	
HQ-SQ	13	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5 GL	
IV-S	51	Itea virginica 'Sprich'	Little Henry® Sweetspire	3 GL	
JC-S	18	Juniperus chinensis 'Sargentii'	Sargent's Juniper	3 GL	
L-TF	23	Lupinus	Lupine	1 GL	'Tutti Frutti' or mix of 'Bicolor'
LS-K	39	Liatris spicata 'Kobold'	Kobold Gayfeather	1 GL	
MV	3	Magnolia virginiana	Sweet Bay Magnolia	6'	
NS	4	Nyssa sylvatica	Tupelo, Black Gum	2.5-3" cal	Suggested cultivars 'Wildfire', 'Green Gable', 'David Odom'
PA	1	Picea abies	Norway Spruce	8-10'	
PO	2	Platanus occidentalis	Sycamore	2.5-3" cal	
PQ	6	Parthenocissus quinquefolia	Virginia Creeper	2 GL	
R-RE	8	Rhododendron 'Roseum Elegans'	Roseum Elegans Rhododendron	3-4'	'English Roseum', 'Roseum Pink' and 'Boursai' are suggested substitutes
RF-G	148	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 GL	
RH-S	66	Rudbeckia hirta 'Spotlight'	Black eyed Susan	1 GL	
SA	64	Sesleria autumnalis	Autumn Moor Grass	1 GL	
S-AJ	42	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	1 GL	
SH	118	Sporobolus heterolepis	Prairie Dropseed	1 GL	
SH-T	226	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 GL	
SJ-Y	40	Spiraea japonica 'Yan' USPP 21615	Double Play® Gold Spirea	3 GL	
TM-E	33	Taxus x media 'Everlow'	Everlow Spreading Yew	3 GL	
VD-C	14	Viburnum dentatum 'Christom'	Blue Muffin® Arrowwood Viburnum	5 GL	
VD-CL	8	Viburnum dentatum 'Chicago Lustre'	Chicago Lustre Viburnum	7 GL	
VP-G	10	Veronica peduncularis 'Georgia Blue' (V. umbrosa)	Georgia Blue Speedwell	1 GL	

NOTE: ADD-ALTERNATE LANDSCAPING EXCLUDED FROM MASTER LIST.

- Planting Plan Notes:**
- All improvements and construction shall be in accordance with state and local codes and regulations.
 - This is a planting plan illustrating the shape and form of landscape beds and the specification and placement of plants on the site. Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
 - Refer to SITE PLAN's utility and grading and drainage plans for utility location and drainage information. Refer to GRADING PLANS for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
 - Plant material may be subject to landscape architect approved substitutions based on current nursery availability.
 - If any part of this plan cannot be followed due to site conditions, contact landscape architect prior to commencing work.
 - Survey by Addison Surveyors.
 - All underground utilities shall be field located by utility companies prior to installing plant material.
 - Perform excavation in the vicinity of underground utilities with care and if necessary, by hand.
 - Verify plant counts and square footages of this plan.
 - Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
 - Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
 - Trees to be planted a minimum of 10 feet from water and sewer lines and a minimum of 15 feet from electrical and gas lines.



ID	Qty	Latin Name	Common Name	Size	Remarks
CC	7	Cercis canadensis	Eastern Redbud	6'	on standard
JC-S	18	Juniperus chinensis 'Sargentii'	Sargent's Juniper	3 GL	
L-TF	23	Lupinus	Lupine	1 GL	'Tutti Frutti' or mix of 'Bicolor'
RH-S	66	Rudbeckia hirta 'Spotlight'	Black eyed Susan	1 GL	
S-AJ	27	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	1 GL	
SH	76	Sporobolus heterolepis	Prairie Dropseed	1 GL	
SJ-Y	32	Spiraea japonica 'Yan' USPP 21615	Double Play® Gold Spirea	3 GL	
VP-G	10	Veronica peduncularis 'Georgia Blue' (V. umbrosa)	Georgia Blue Speedwell	1 GL	

1 LANDSCAPE PLAN L-1
Scale: 1" = 10'-0"

PROJECT:
Laurel Creek Park and Trail
ADDRESS:
208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:
Town of Damascus, VA
DAMASCUS
CROSSING PATHS
Mr. Gavin N. Blevins, Town Manager
CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
DESTINATION BY DESIGN studios
Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

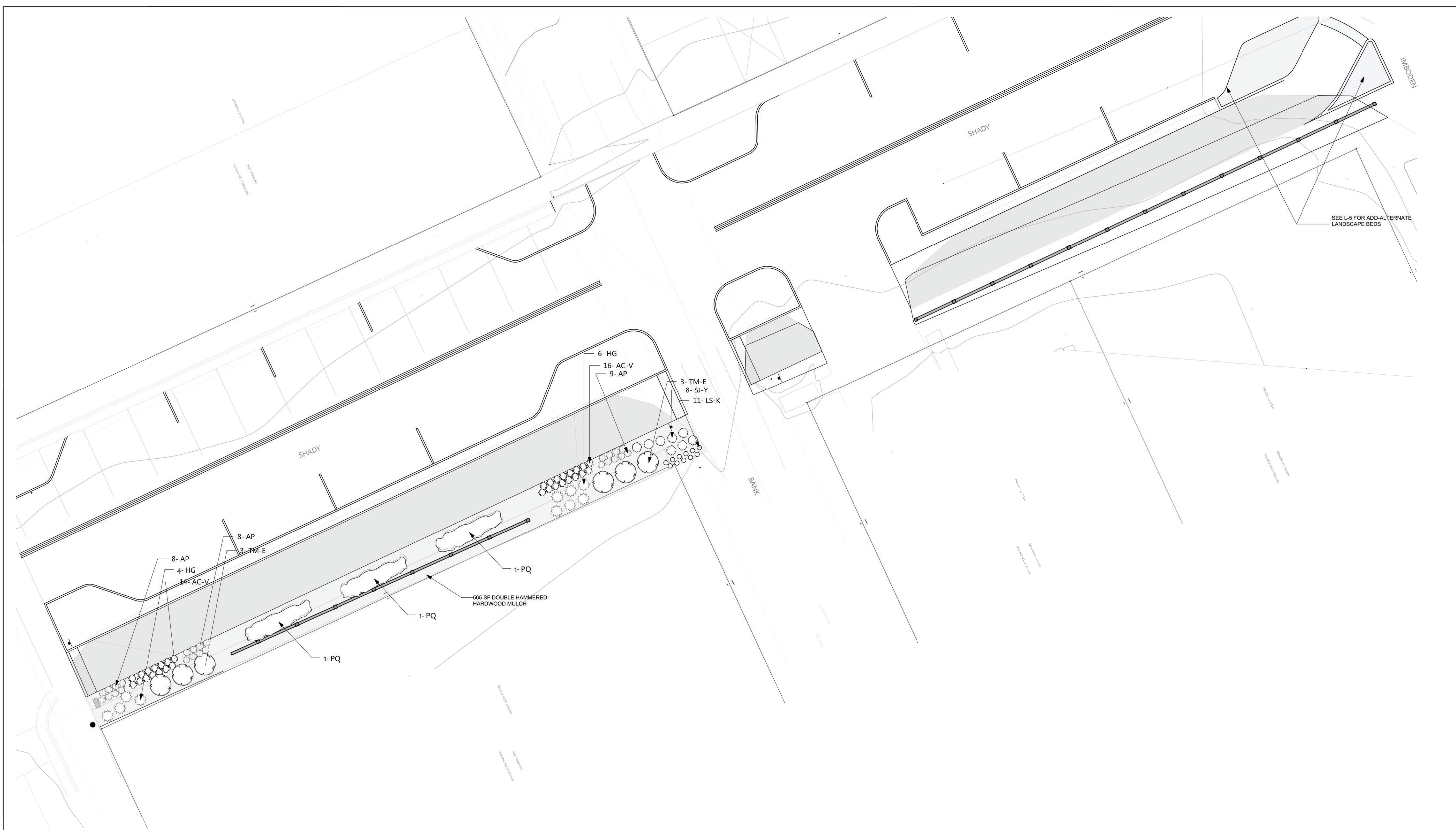
SEAL: VA 2102
COMMONWEALTH OF VIRGINIA
11.22.19
Charles A. Gotherman
Lic. No. 2102
Charles A. Gotherman
LANDSCAPE ARCHITECT
11/22/19

REVISIONS	DATE

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

LANDSCAPE PLAN
SHEET NUMBER: L-1
SCALE: 1"=10'
FILE NUMBER: 9.26.16

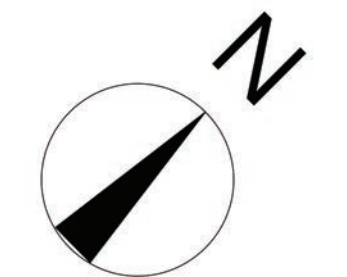




1 LANDSCAPE PLAN L-2
Scale: 1" = 10'-0"

- Planting Plan Notes:**
- All improvements and construction shall be in accordance with state and local codes and regulations.
 - This is a planting plan illustrating the shape and form of landscape beds and the specification and placement of plants on the site. Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation.
 - Landscape Architect reserves the right to adjust plants to exact location in field.
 - Refer to SITE PLAN's utility and grading and drainage plans for utility location and drainage information.
 - Refer to GRADING PLANS for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
 - Plant material may be subject to landscape architect approved substitutions based on current nursery availability.
 - If any part of this plan cannot be followed due to site conditions, contact landscape architect prior to commencing work.
 - Survey by Addison Surveyors.
 - All underground utilities shall be field located by utility companies prior to installing plant material.
 - Perform excavation in the vicinity of underground utilities with care and if necessary, by hand.
 - Verify plant counts and square footages of this plan.
 - Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
 - Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
 - Trees to be planted a minimum of 10 feet from water and sewer lines and a minimum of 15 feet from electrical and gas lines.

ID	Qty	Latin Name	Common Name	Size	Remarks
AC-V	30	Astilbe chinensis 'Visions'	Visions Astilbe	1 GL	
AP	25	Anemone x 'Pamina'	Pamina Japanese Anemone	1 GL	
HG	10	Hosta x 'Guacamole'	Guacamole Plantain Lily	1 GL	
LS-K	11	Liatris spicata 'Kobold'	Kobold Gayfeather	1 GL	
PQ	3	Parthenocissus quinquefolia	Virginia Creeper	2 GL	
SJ-Y	8	Spiraea japonica 'Tan' USPP 21615	Double Play® Gold Spirea	3 GL	
TM-E	6	Taxus x media 'Everlow'	Everlow Spreading Yew	3 GL	



PROJECT:
Laurel Creek Park and Trail

ADDRESS:
208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:
Town of Damascus, VA

DAMASCUS
CROSSING PATHS

Mr. Gavin N. Blevins, Town Manager
CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:

DESTINATION BY DESIGN
studios

Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102

11/22/19

REVISIONS	DATE

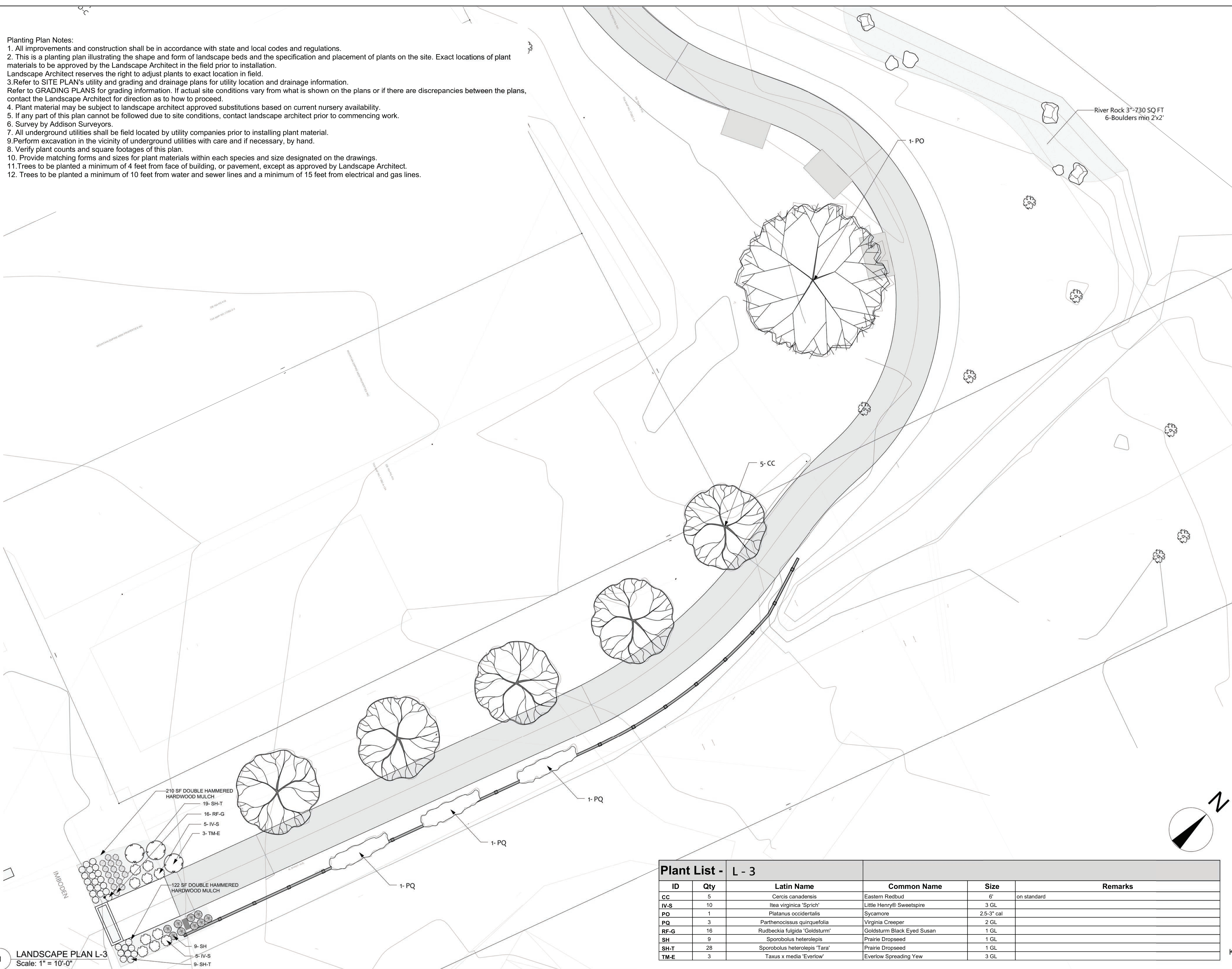
PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER: L-2
SCALE: 1"=10'
FILE NUMBER: 9.26.16

Planting Plan Notes:

1. All improvements and construction shall be in accordance with state and local codes and regulations.
2. This is a planting plan illustrating the shape and form of landscape beds and the specification and placement of plants on the site. Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
3. Refer to SITE PLAN's utility and grading and drainage plans for utility location and drainage information. Refer to GRADING PLANS for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
4. Plant material may be subject to landscape architect approved substitutions based on current nursery availability.
5. If any part of this plan cannot be followed due to site conditions, contact landscape architect prior to commencing work.
6. Survey by Addison Surveyors.
7. All underground utilities shall be field located by utility companies prior to installing plant material.
9. Perform excavation in the vicinity of underground utilities with care and if necessary, by hand.
8. Verify plant counts and square footages of this plan.
10. Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
11. Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
12. Trees to be planted a minimum of 10 feet from water and sewer lines and a minimum of 15 feet from electrical and gas lines.



Plant List - L - 3						
ID	Qty	Latin Name	Common Name	Size		Remarks
CC	5	Cercis canadensis	Eastern Redbud	6"	on standard	
IV-S	10	Itea virginica 'Sprich'	Little Henry® Sweetspire	3 GL		
PO	1	Platanus occidentalis	Sycamore	2.5-3" cal		
PQ	3	Parthenocissus quinquefolia	Virginia Creeper	2 GL		
RF-G	16	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 GL		
SH	9	Sporobolus heterolepis	Prairie Dropseed	1 GL		
SH-T	28	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 GL		
TM-E	3	Taxus x media 'Everlow'	Everlow Spreading Yew	3 GL		

PROJECT:

Laurel Creek Park and Trail

ADDRESS:

208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:

Town of Damascus, VA



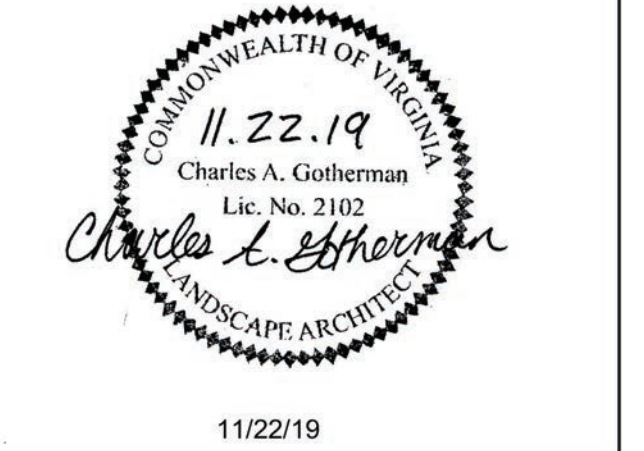
CONTACT: Mr. Gavin N. Blevins, Town Manager
(276)783-5103, ext. 315

LANDSCAPE ARCHITECT:



Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

SEAL: VA 2102



REVISIONS DATE

REVISIONS	DATE

PROJECT MANAGER: CAG

DRAWING BY: DAD

JURISDICTION: WASHINGTON COUNTY

DATE: 11/22/19

SHEET TITLE:

LANDSCAPE PLAN

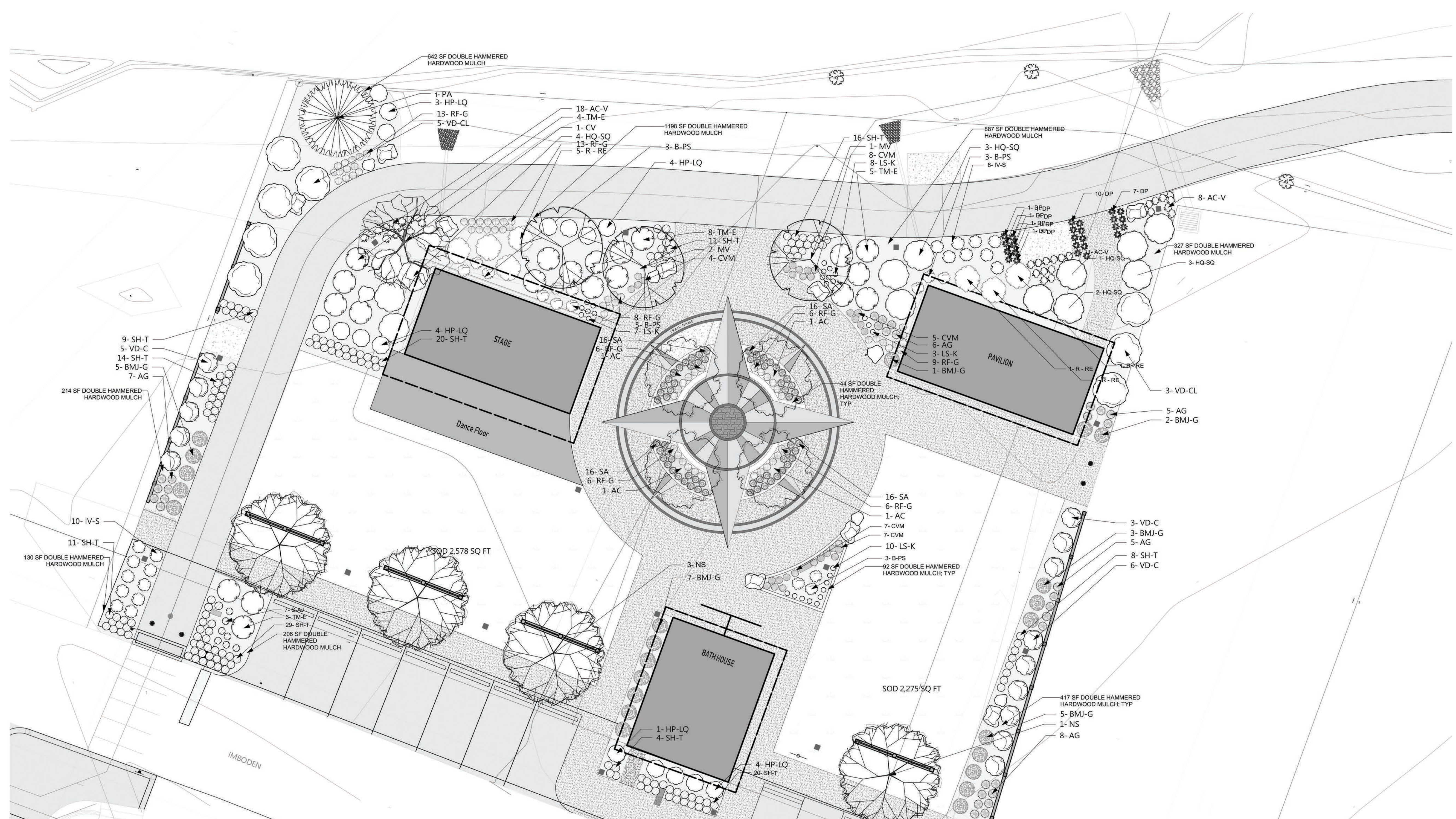
SHEET NUMBER: L-3

SCALE: 1"=10'

FILE NUMBER: 9.26.16

1 LANDSCAPE PLAN L-3
Scale: 1" = 10'-0"





ID	Qty	Latin Name	Common Name	Size	Remarks
AC	4	Amelanchier canadensis	Shadblow Serviceberry	6'	Multi-stem, stand alone specimen quality Suggested substitute: Amelanchier 'Princess Diana'
AC-V	37	Astilbe chinensis 'Visions'	Visions Astilbe	1 GL	
AG	31	Andropogon gerardii 'Red October'	Red October Big Bluestem	1 GL	
BMJ-G	26	Buxus microphylla japonica 'Gregarum'	Baby Gem Boxwood	3 GL	
B-PS	14	Baptisia hybrid	False Indigo	1 GL	
CV	1	Chionanthus virginicus	White Fringe Tree	6'	Multi-stem
CVM	31	Coreopsis verticillata 'Moonbeam'	Moonbeam Threadleaf Tickseed	1 GL	
DP	25	Dennstaedtia punctilobula	Hay-scented Fern	QT	
HP-LQ	16	Hydrangea paniculata 'SMHPLQF' USPP 25136	Little Quick Fire® Hardy Hydrangea	3 GL	
HQ-SQ	13	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5 GL	
IV-S	25	Itea virginica 'Sprich'	Little Henry® Sweetspire	3 GL	
LS-K	28	Liatris spicata 'Kobold'	Kobold Gayfeather	1 GL	
MV	3	Magnolia virginiana	Sweet Bay Magnolia	6'	
NS	4	Nyssa sylvatica	Tupelo, Black Gum	2.5-3" cal	Suggested cultivars 'Wildfire', 'Green Gable', 'David Odom'
PA	1	Picea abies	Norway Spruce	8-10'	
R-RE	8	Rhododendron 'Roseum Elegans'	Roseum Elegans Rhododendron	3-4'	'English Roseum', 'Roseum Pink' and 'Boursalt' are suggested substitutes
RF-G	67	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 GL	
SA	64	Sesleria autumnalis	Autumn Moor Grass	1 GL	
S-AJ	7	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	1 GL	
SH-T	160	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 GL	
TM-E	20	Taxus x media 'Everlow'	Everlow Spreading Yew	3 GL	
VD-C	14	Viburnum dentatum 'Christom'	Blue Muffin® Arrowwood Viburnum	5 GL	
VD-CL	8	Viburnum dentatum 'Chicago Lustre'	Chicago Lustre Viburnum	7 GL	

SOD: KENTUCKY BLUE/TALL FESCUE BLEND - 4,853 SQ FT FOR LAUREL PARK GREEN SPACES

Planting Plan Notes:

- All improvements and construction shall be in accordance with state and local codes and regulations.
- This is a planting plan illustrating the shape and form of landscape beds and the specification and placement of plants on the site. Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
- Refer to SITE PLAN's utility and grading and drainage plans for utility location and drainage information. Refer to GRADING PLANS for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
- Plant material may be subject to landscape architect approved substitutions based on current nursery availability.
- If any part of this plan cannot be followed due to site conditions, contact landscape architect prior to commencing work.
- Survey by Addison Surveyors.
- All underground utilities shall be field located by utility companies prior to installing plant material.
- Perform excavation in the vicinity of underground utilities with care and if necessary, by hand.
- Verify plant counts and square footages of this plan.
- Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
- Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
- Trees to be planted a minimum of 10 feet from water and sewer lines and a minimum of 15 feet from electrical and gas lines.

1 LANDSCAPE PLAN L-4
Scale: 1" = 10'-0"



PROJECT:
**Laurel Creek
Park and Trail**

ADDRESS:
208 W Laurel Ave.
Damascus, VA 24236

DEVELOPER:
**Town of
Damascus, VA**

Mr. Gavin N. Blevins, Town Manager
CONTACT: (276)783-5103, ext. 315

LANDSCAPE ARCHITECT:

Destination by Design Studios, PLLC
136 Furman Rd, Ste. 6
Boone, NC 28607
828-386-1866
www.dbdplanning.com

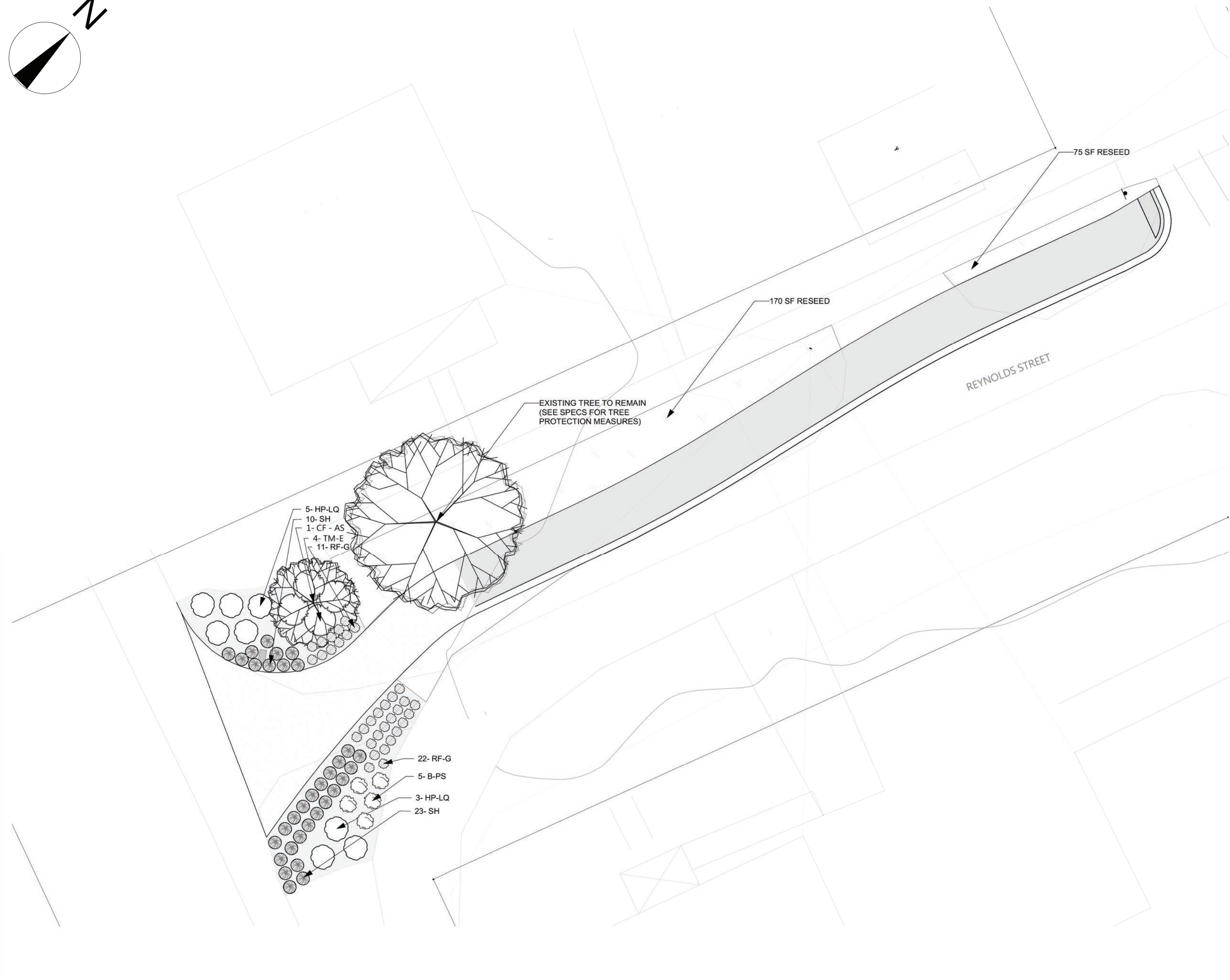
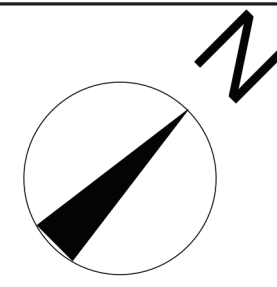
SEAL: VA 2102

11/22/19

REVISIONS	DATE

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

LANDSCAPE PLAN
SHEET NUMBER: L-4
SCALE: 1"=10'
FILE NUMBER: 9.26.16



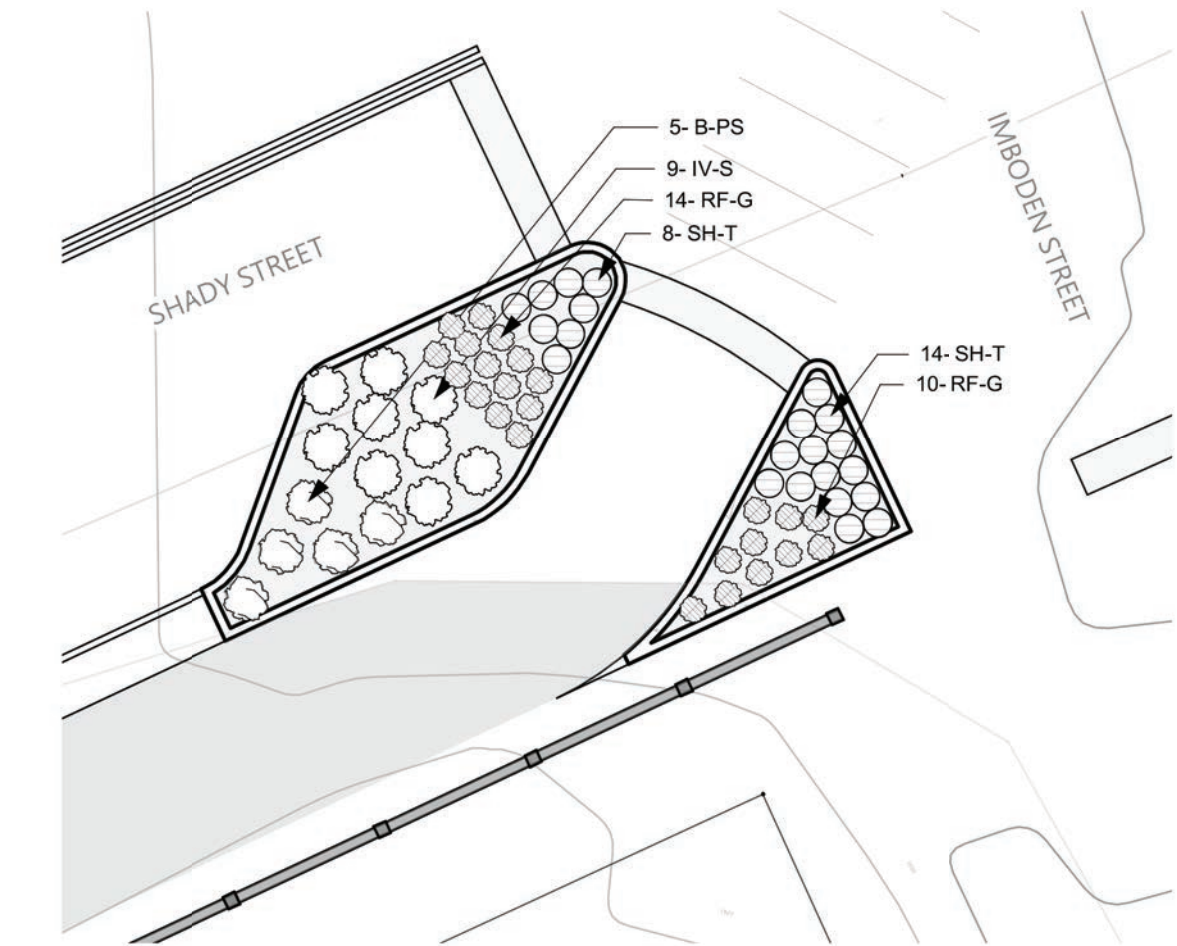
1 LANDSCAPE PLAN L-5
Scale: 1" = 10'-0"

ID	Qty	Latin Name	Common Name	Size	Remarks
B-PS	5	Baptisia hybrid	False Indigo	1 GL	
CF-AS	1	Cornus florida 'Appalachian Spring'	Appalachian Spring Dogwood	15 GL/4'	suggested substitute: Cornus 'Jean's Appalachian Snow'
HP-LQ	8	Hydrangea paniculata 'SMHPLOF' USPP 25136	Little Quick Fire® Hardy Hydrangea	3 GL	
RF-G	33	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 GL	
SH	33	Sporobolus heterolepis	Prairie Dropseed	1 GL	
TM-E	4	Taxus x media 'Everlow'	Everlow Spreading Yew	3 GL	

SEED: KENTUCKY BLUE/TALL FESCUE BLEND - 245 SQ FT REFER TO DETAIL 3/SHEET C-2

Planting Plan Notes:

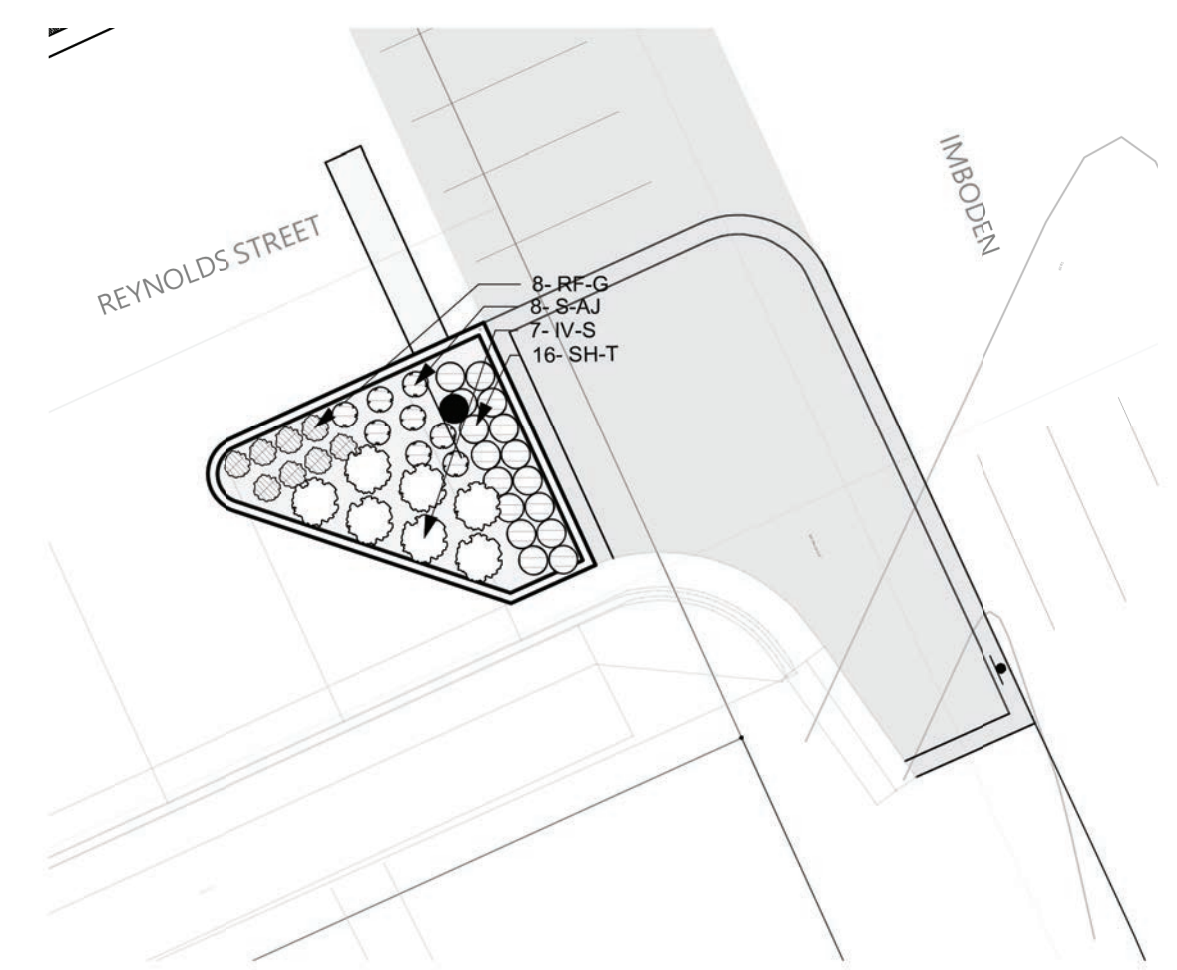
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- If any part of this plan cannot be followed due to site conditions, contact landscape architect prior to commencing work.
- Survey by Addison Surveyors.
- All underground utilities shall be field located by utility companies prior to installing plant material.
- Perform excavation in the vicinity of underground utilities with care and if necessary, by hand.
- Verify plant counts and square footages of this plan.
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- Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
- Trees to be planted a minimum of 10 feet from water and sewer lines and a minimum of 15 feet from electrical and gas lines.



2 SHADY AND IMBODEN (ADD ALTERNATE)
Scale: 1" = 10'-0"

ID	Qty	Latin Name	Common Name	Size
SH-T	22	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 GL
RF-G	24	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 GL
IV-S	9	Itea virginica 'Sprich'	Little Henry Sweetspire	3 GL
B-PS	5	Baptisia 'Purple Smoke'	False Indigo	1 GL

*NOT INCLUDED IN MASTER LIST



3 REYNOLDS ST & IMBODEN ST (ADD ALTERNATE)
Scale: 1" = 10'-0"

ID	Qty	Latin Name	Common Name	Size
SH-T	16	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 GL
RF-G	8	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 GL
S-AJ	8	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	1 GL
IV-S	7	Itea virginica 'Sprich'	Little Henry Sweetspire	3 GL

*NOT INCLUDED IN MASTER LIST

PROJECT:
**Laurel Creek
Park and Trail**

ADDRESS:
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Damascus, VA 24236

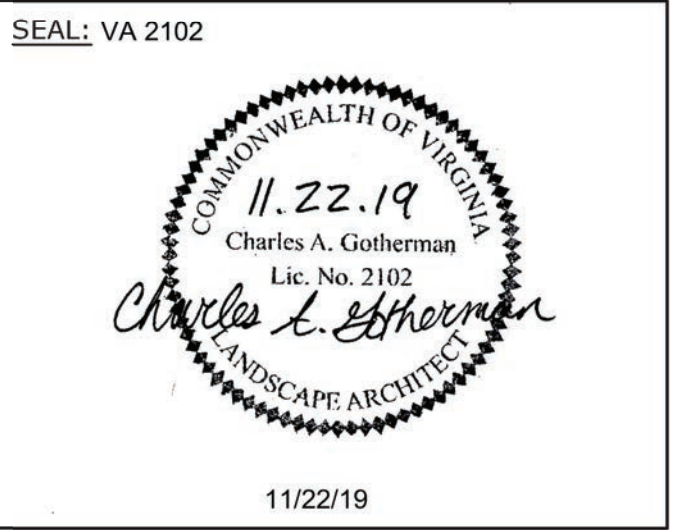
DEVELOPER:
**Town of
Damascus, VA**



CONTACT:
Mr. Gavin N. Blevins, Town Manager
(276)783-5103, ext. 315

LANDSCAPE ARCHITECT:
**DESTINATION BY DESIGN
studios**

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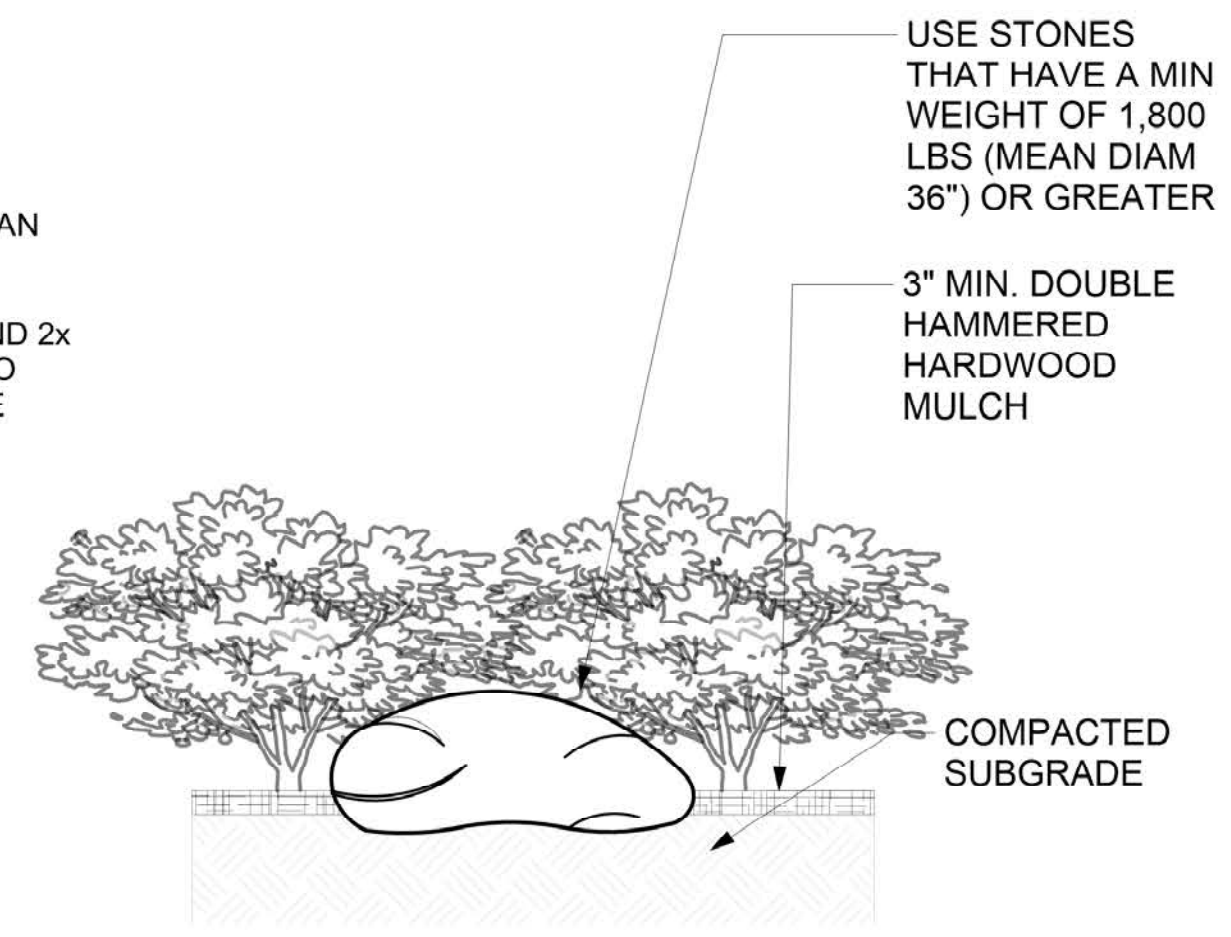
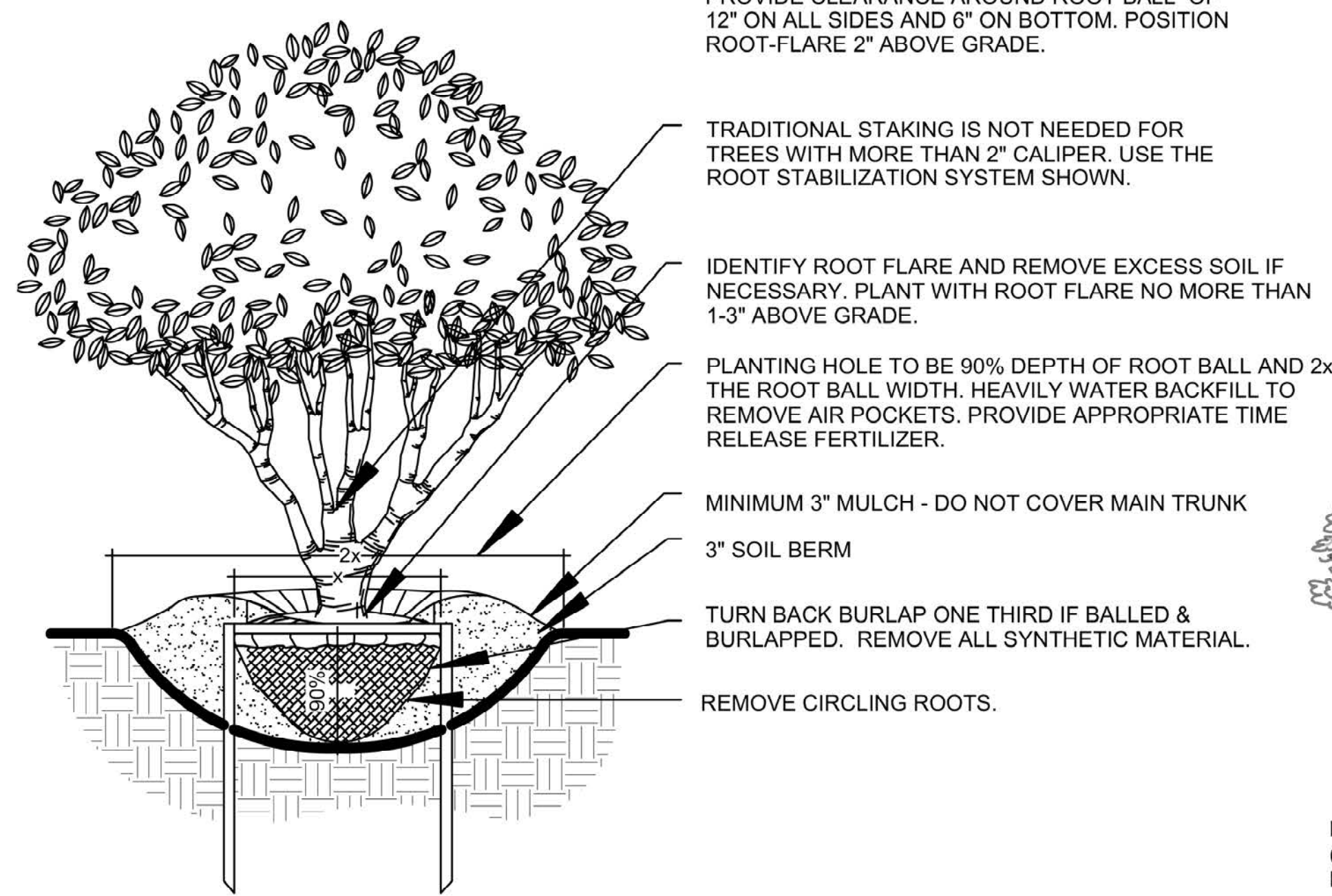
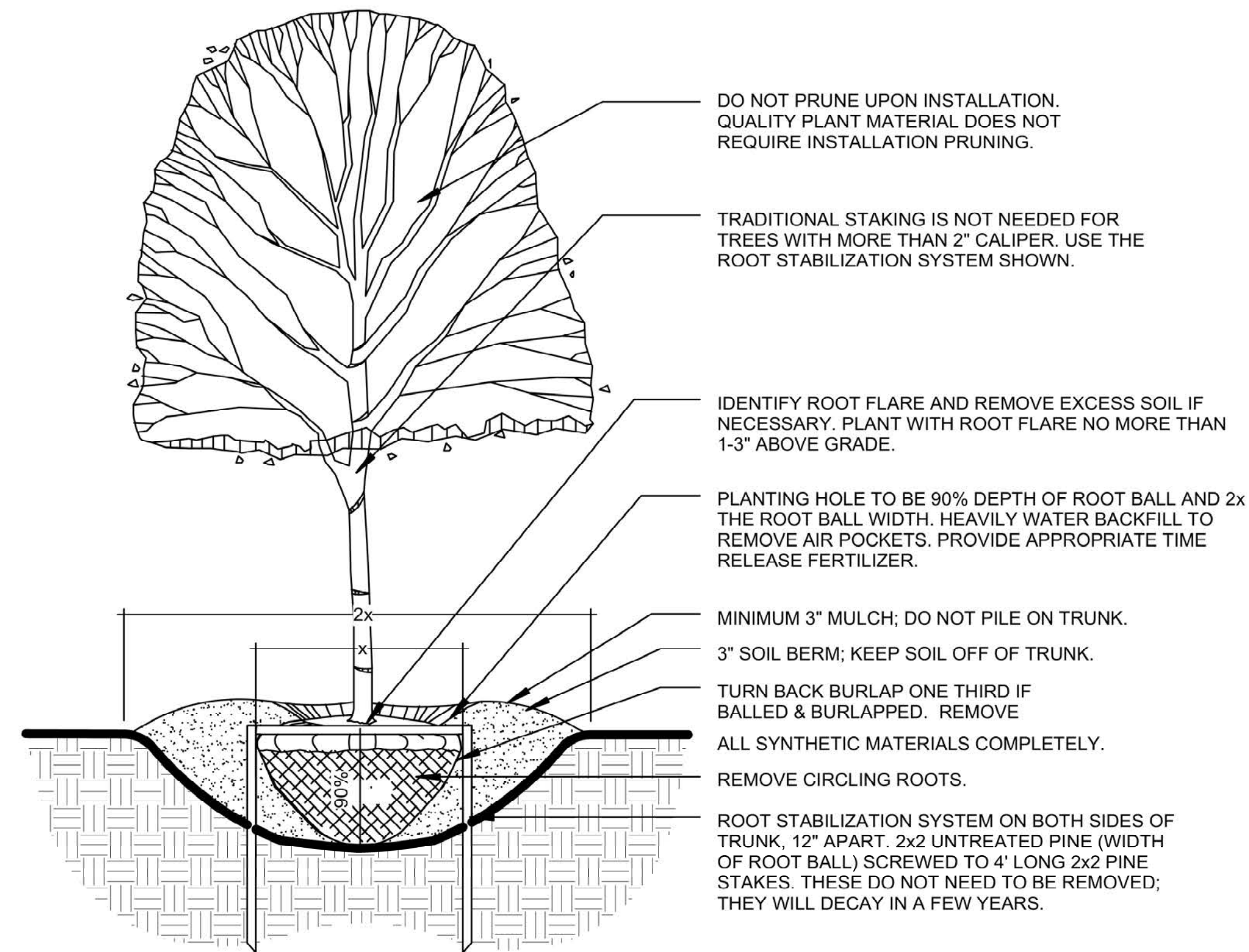
REVISIONS	DATE

PROJECT MANAGER: CAG
DRAWING BY: DAD
JURISDICTION: WASHINGTON COUNTY
DATE: 11/22/19
SHEET TITLE:

LANDSCAPE PLAN
SHEET NUMBER: L-5
SCALE:

FILE NUMBER: 9.26.16





NOTES:
 (1) NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 (2) BOULDERS SHALL BE OF GOOD QUALITY, HARDNESS, AND FREE OF DIRT AND LOOSE DEBRIS.
 (3) BOULDERS SHALL BE BURIED 1/2 TO 1/4 BELOW FINISH GRADE.
 (4) BOULDERS SHALL NOT BE DAMAGED OR SCARRED.
 (5) WHEN GROUPING BOULDERS, DISTRIBUTE SIZES EVENLY (IE. IN A GROUP OF SIX (6), TWO (2) SHALL BE LARGE, TWO (2) SHALL BE MEDIUM, AND TWO (2) SHALL BE SMALL.

5 BOULDER INSTALLATION
 N.T.S.

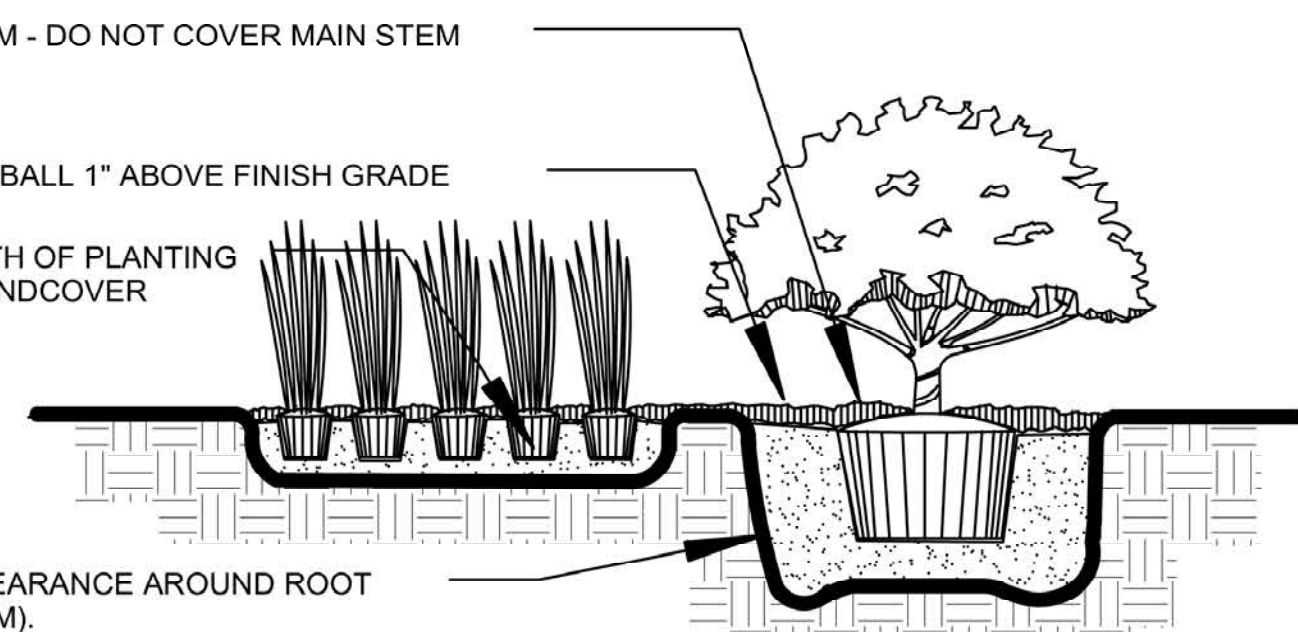
1 Tree Planting Detail - Root Ball Stabilization
 N.T.S.

PROVIDE APPROPRIATE TIME-RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS.

3" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE

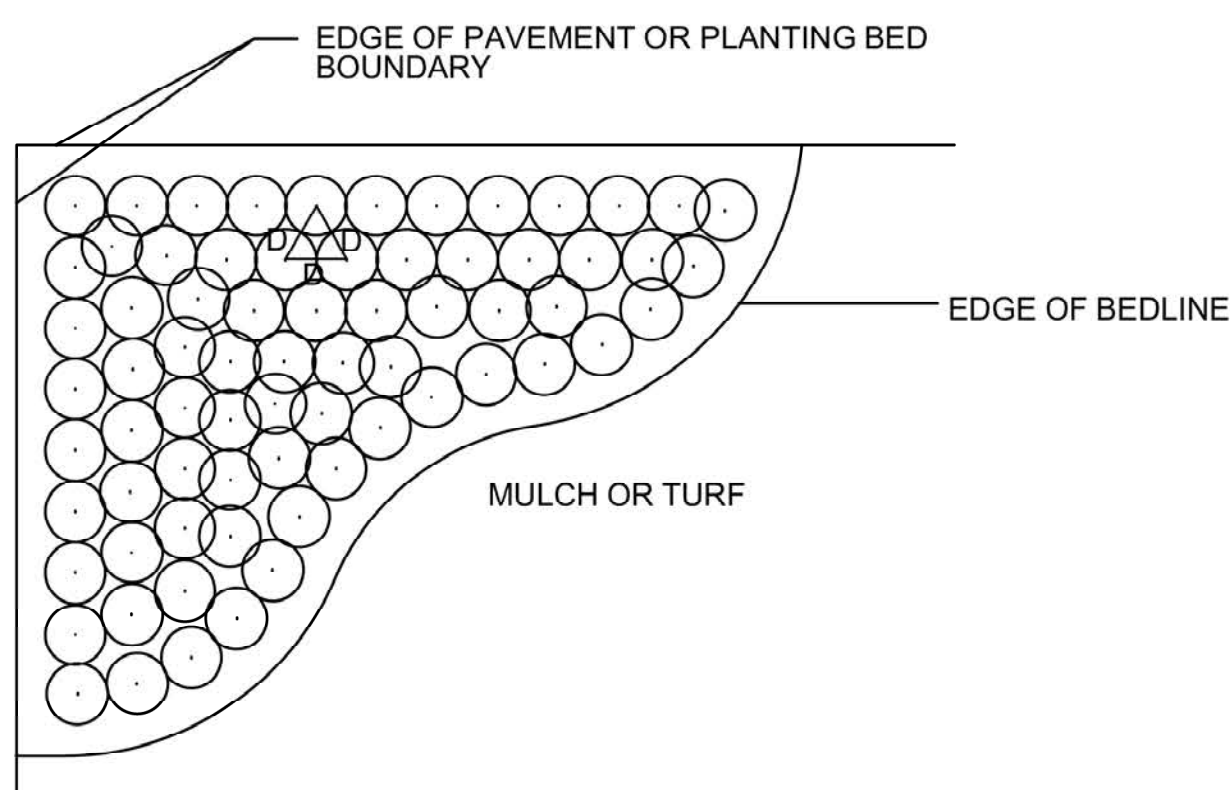
12" MINIMUM DEPTH OF PLANTING SOIL MIX IN GROUNDCOVER PLANTING BEDS.



PROVIDE 6" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

PLANTING SOIL MIX - 2/3 ON-SITE SOIL, 1/3 PEAT. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

2 Shrub and Groundcover Planting Detail
 N.T.S.



NOTE: LAYOUT PLANTS IN A TRIANGULAR PATTERN AS SHOWN, SPACED EQUALLY FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST) AND IN STRAIGHT ROWS. SPACING MAY BE ADJUSTED SLIGHTLY TO CREATE SMOOTH FLOWING BEDLINES AS SHOWN ON LANDSCAPE PLANS. PROVIDE 6" - 12" UNIFORM CLEARANCE (MULCH STRIP) BETWEEN PLANT FOLIAGE AND EDGE OF BEDLINE (TYP.).

3 Plant Spacing Detail
 N.T.S.

4 Multi-Trunk Tree Planting Detail
 N.T.S.

Notes regarding in situ soil:

1. Soil preparation must be conducted by contractor to decompact soils to allow for root growth. Soil preparation of compacted soils is a critical factor in plant survival and growth. The following steps shall be followed to evaluate whether the existing soils on site can be used and the steps that need to be taken to prepare the soil for planting.
2. **SOIL TEST:** Soils shall be tested at the contractor's expense. A minimum of 3 core 6" soil samples shall be tested from various landscape beds throughout the Laurel Creek Park project area (Sheet L-4). Soil tests shall determine soil texture (mechanical analysis), pH, magnesium, phosphorus, potassium, soluble salts, total calcium, nitrogen, and percent organic matter. If the soil is sandy, it shall also be tested for boron. The Contractor shall submit plans with the soil test results showing the locations of all soil tests. Incomplete test results and plans will be rejected by Destination by Design, and shall be redone at the Contractor's expense.
4. **AMEND BASED ON TESTING:** Soil test results shall include laboratory recommendations for soil amendments to correct deficiencies and accomplish planting objectives. Follow recommendations of laboratory and/or Soil Part 7 section 3.2 of the Landscape Contractors Association MD DC VA Specification Guidelines and provide course of action based on their recommendation.
5. **SUBSOILING:** For all planting beds that had previously been roads or covered in asphalt/concrete refer to the Landscape Contractors Association MD DC VA Specification Guidelines Part 7 (Soils) section 3.4 for directions on subsoiling with equipment to reduce compaction.
6. **AMEND FOR COMPACTION:** Amended with organic matter to make a positive change in bulk density and macroporosity. A 2" layer of organic amendment (such as peat moss or composted/aged pine bark fines) shall be tilled or dug to a minimum depth of 18" throughout all landscape beds and 6" for sod & turf areas.
7. **REPORT:** Commencement of work will not begin until all submittals have been approved by the Landscape Architect. This includes but is not limited to soil testing results and recommendations.

Notes regarding imported topsoil:

1. If the existing soils can not be used then imported topsoil must meet the following criteria listed below.
2. **APPROVAL:** Imported topsoil shall be free of stones 1 inch or larger and other extraneous materials harmful to plant growth. Topsoil shall have a pH that is greater than 4.5 and less than 7.5. The acceptable amount of Magnesium shall be 71-124 pounds per acre; Phosphorus shall be 62-102 pounds per acre; Potassium shall be 85-160 pounds per acre, and Nitrogen shall be a minimum of 50 pounds per acre. The soluble salts shall not exceed 4mmhos/cm, Calcium levels shall not exceed 2,000 parts per million. The organic matter shall exceed 5%. It shall not be added to beds or planted when it is frozen or muddy to avoid compaction.
3. **SOIL TEST:** Soil tests shall determine proposed topsoil texture (mechanical analysis) and that proposed topsoil meets the aforementioned criteria.
4. **DEPTH:** Topsoil will be installed to a depth of 12" for perennial/ornamental grass beds and 18" for beds containing shrubs and trees.
5. **REPORT:** Commencement of work will not begin until all submittals have been approved by the landscape architect. This includes but not limited to soil testing results and recommendations.

Notes regarding tree wells:

1. Tree wells shall be 30" deep. Install plant mix and subsoil plant mix in lifts, compacting lightly inbetween.
2. **PLANT MIX:** The top 12" of tree wells shall be a mixture a Mix of Imported Topsoil, Coarse Sand and Compost. The approximate Mix ratio shall be: Imported Topsoil unscreened (45-50%) Coarse sand (40-45%) Compost (10%)
3. **SUBSOIL PLANT MIX:** Tree well subsoil shall be 18" in depth and consist of 50% aforementioned plant mix and 50% uncompacted native topsoil.

Notes regarding sod:

1. Only "approved sod" (trade designation) consisting of a mixture of Kentucky Bluegrass and Tall Fescue shall be used. The sod, machine cut to the suppliers standard width and length, shall be 5/8" minimum, excluding top growth and thatch, at the time of cutting. Before cutting, the sod shall be uniformly mowed at a height of 1 1/2" to 2 1/2". Standard sod sections shall be sufficiently strong to support their own weight and retain their size and shape when suspended vertically from a firm grasp on the upper 10% of the section. The sod may be either 42" wide roll sod or 18" by 36" strips.
2. Refer to the Landscape Contractors Association MD DC VA Specification Guidelines Part 6 Section 3 for soil preparation guidelines.

General Notes:

1. Plant material shall conform to the standards for Grade #1 or better as given in the latest "American Standard for Nursery Stock," American National Standards Institute. Plant size is to take precedence over container size.
2. All trees and shrubs are to be positioned vertically regardless of the slope of the ground in which they are planted. Berms are to be constructed at right angles to the tree or shrub or in a manner in which they will most effectively serve the purpose of retaining water at the base of the plant.
3. Landscape material is to be maintained by the landscape contractor (including mowing, pruning, and weeding) until planting is approved by client. The landscape contractor must provide: (A.) A warranty on all trees for a period of (1) year. (B.) A warranty on all shrubs and groundcovers for a period of (1) year. (C.) Guidelines for proper maintenance.
4. Mulch all planting beds with 3" of double ground hardwood mulch.
5. Only "approved sod" (trade designation) consisting of a mixture of 50% Kentucky Bluegrass and 50% Hard Fescue or Zoysia shall be used. The sod, machine cut to the suppliers standard width and length, shall be 5/8" minimum, excluding top growth and thatch, at the time of cutting. Before cutting, the sod shall be uniformly mowed at a height of 1 1/2" to 2 1/2". Standard sod sections shall be sufficiently strong to support their own weight and retain their size and shape when suspended vertically from a firm grasp on the upper 10% of the section. The sod may be either 42" wide roll sod or 18" by 36" strips. Refer to Landscape Contractors Association MD DC VA Specification Guidelines Part 6 (Seeding and Sodding) specifications for soil preparation specifications for sod areas.
6. All disturbed areas not otherwise planted shall be stabilized with a blend of Kentucky Blue/ Hard Fescue grass.

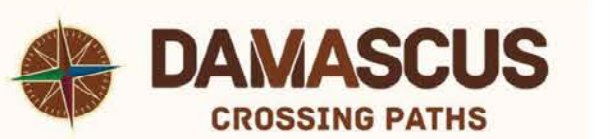
PROJECT:

Laurel Creek
 Park and Trail

ADDRESS:
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DEVELOPER:

Town of
 Damascus, VA



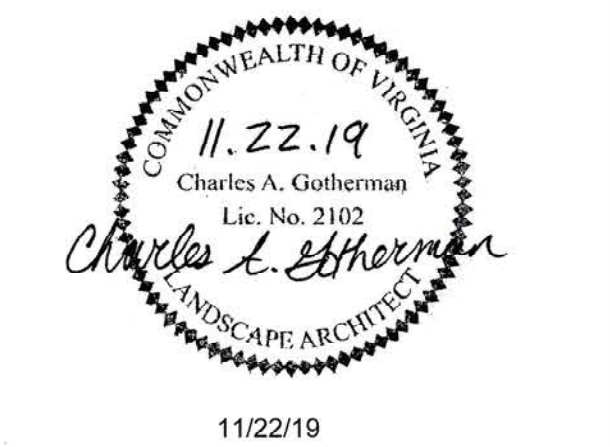
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LANDSCAPE ARCHITECT:



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 www.dbdplanning.com

SEAL: VA 2102



REVISIONS DATE

REVISIONS	DATE

PROJECT MANAGER: CAG

DRAWING BY: DAD

JURISDICTION: WASHINGTON COUNTY

DATE: 11/22/19

SHEET TITLE:

LANDSCAPE DETAILS

SHEET NUMBER: L-6

SCALE:

FILE NUMBER: 9.26.16

